



Comhairle Contae Thiobraid Árann
Tipperary County Council

Tipperary County Council
RECEIVED
31 JAN 2024
C S D
Civic Offices, Clonmel

TIPPERARY CO. COUNCIL
RECEIVED
31 JAN 2024
PLANNING SECTION
FILE NO.

PLANNING & DEVELOPMENT ACT, 2000 (as amended)

**Application for a Section 5 Declaration
Development / Exempted Development**

1. Applicant's address/contact details:

| | |
|---------------|---|
| Applicant | KIRSTY RYAN |
| Address | TEACH AULCHLOICHE, BALLINAHINCH, CASHEL, CO. TIPPERARY E25 X029 |
| Telephone No. | [REDACTED] |
| E-mail | [REDACTED] |

2. Agent's (if any) address:

| | |
|---------------|---|
| Agent | X |
| Address | |
| Telephone No. | |
| E-mail | |

Please advise where all correspondence in relation to this application is to be sent;

Applicant [] Agent []

3. Location of Proposed Development:

| | |
|---|--|
| Postal Address or Townland or Location (as may best identify the land or structure in question) | 'THE BUNGALOW' TY23931 CAHIR RD., CASHEL CO. TIPPERARY E25 K243 |
|---|--|

25 177 822
E25 - 00 Cashepe
31 01 2024

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CASH OFFICE
Civic Offices, Clonmel

4. Development Details:

Please provide details of the proposed development for which an exemption under Section 5 of the Planning and Development Act is applied for.

(Note: only works and uses listed and described under this section will be assessed under this Section 5 Application. Use additional sheets if required.)

| | |
|--|-------------------------|
| Demolition of original timber extension at | |
| back and concrete utility room. Build | |
| new en-suite single storey bedroom located | |
| where utility room was. General refurbishment | |
| of original house e.g. new windows + doors etc | |
| Proposed floor area of proposed works/uses: | sqm 29.75m ² |

5. Legal Interest of Applicant in the Land or Structure:

| | | |
|--|--|--------------------------------------|
| Please tick appropriate box to show applicant's legal interest in the land or structure | A. Owner <input checked="" type="checkbox"/> | B. Occupier <input type="checkbox"/> |
| | C. Other <input type="checkbox"/> | <input type="checkbox"/> |
| Where legal interest is 'Other', please expand further on your interest in the land or structure | | |
| If you are not the legal owner, please state the name and address of the owner | Name: | Address: |

Signature of Applicant(s) Kirsty Ryan Date: 30/1/24

Note: If the proposed development consists of works to a (Proposed) Protected Structure and/or any structure within the curtilage of a (Proposed) Protected Structure, an application for a Section 57 Declaration may be more appropriate.

GUIDANCE NOTES

(1) All queries on the form must be completed and the form must be accompanied by the relevant fee. The amount of the fee is currently **€80.00**.

(2) This application should be accompanied by **TWO COPIES** of the following documentation

- o OSI Site Location Map with the site outlined clearly – 1:1000 in urban areas and 1:2500 in rural areas
- o Floor Plans & Elevations at a scale of not less than 1:200
- o Site layout plan indicating position of proposed development relative to premises and adjoining properties
- o Other details *e.g.* brochures, photographs if appropriate.

(All dimensions must be given in metric scale and drawings should be accompanied by a brief description outlining the use of the proposed development)

(3) Where a proper and complete application is received, a decision must be conveyed to the applicant within four (4) weeks except where additional necessary information is required.

This application form and relevant fee should be submitted to:

**Planning Section,
Tipperary County Council,
Civic Offices,
Limerick Road,
Nenagh,
Co. Tipperary**

OR

**Planning Section,
Tipperary County Council,
Civic Offices,
Emmet Street,
Clonmel,
Co. Tipperary**

Enquires:

Telephone 0818 06 5000

E-Mail planning@tipperarycoco.ie

FOR OFFICE USE ONLY

DATE STAMP

Fee Recd. € _____

Receipt No _____

Date _____

Received by _____

607590 mE, 639960 mN

The Property
Registration Authority
An tÚdarás
Clárúcháin Maoine



Folio: TY23931




This map should be read in conjunction with the folio.

Registry maps are based on OSi topographic mapping. Where registry maps are printed at a scale that is larger than the OS published scale, accuracy is limited to that of the original OSi map scale.








For details of the terms of use and limitations as to scale, accuracy and other conditions relating to Land Registry maps, see www.pra.ie.

This map incorporates Ordnance Survey Ireland (OSi) mapping data under licence from OSi. Copyright © OSi and Government of Ireland.

(centre-line of parcel(s) edge)

-  Freehold
-  Leasehold
-  SubLeasehold

Burdens (may not all be represented on map)

-  Right of Way / Wayleave
-  Turbary
-  Pipeline
-  Well
-  Pump
-  Septic Tank
-  Soak Pit

A full list of burdens and their symbology can be found at www.landdirect.ie



The registry operates a non-conclusive boundary system. The Registry Map identifies properties not boundaries meaning neither the description of land in a register nor its identification by reference to a registry map is conclusive as to the boundaries or extent. (see Section 85 of the Registration of Title Act, 1964). As inserted by Section 62 of the Registration of Deed and Title Act 2006.



607270 mE, 639700 mN
Date Printed: 14/09/2023

Creation Date: 14 September 2023 07:24:41

Application Number: P2023LR112902G

CLIENT

EXISTING SITE PLAN

SCALE: 1.300@A3

STEEL 3M MESH FENCING TO PERIMETER OF SITE WHERE SHOWN RED DASH

CLEAR ALL OVERGROWTH FORM EXISTING SHEDS - MAKE READY FOR REPAIRS.

DEMOLISH LIGHTWEIGHT FLAT ROOF BLOCK-WORK EXTENSION

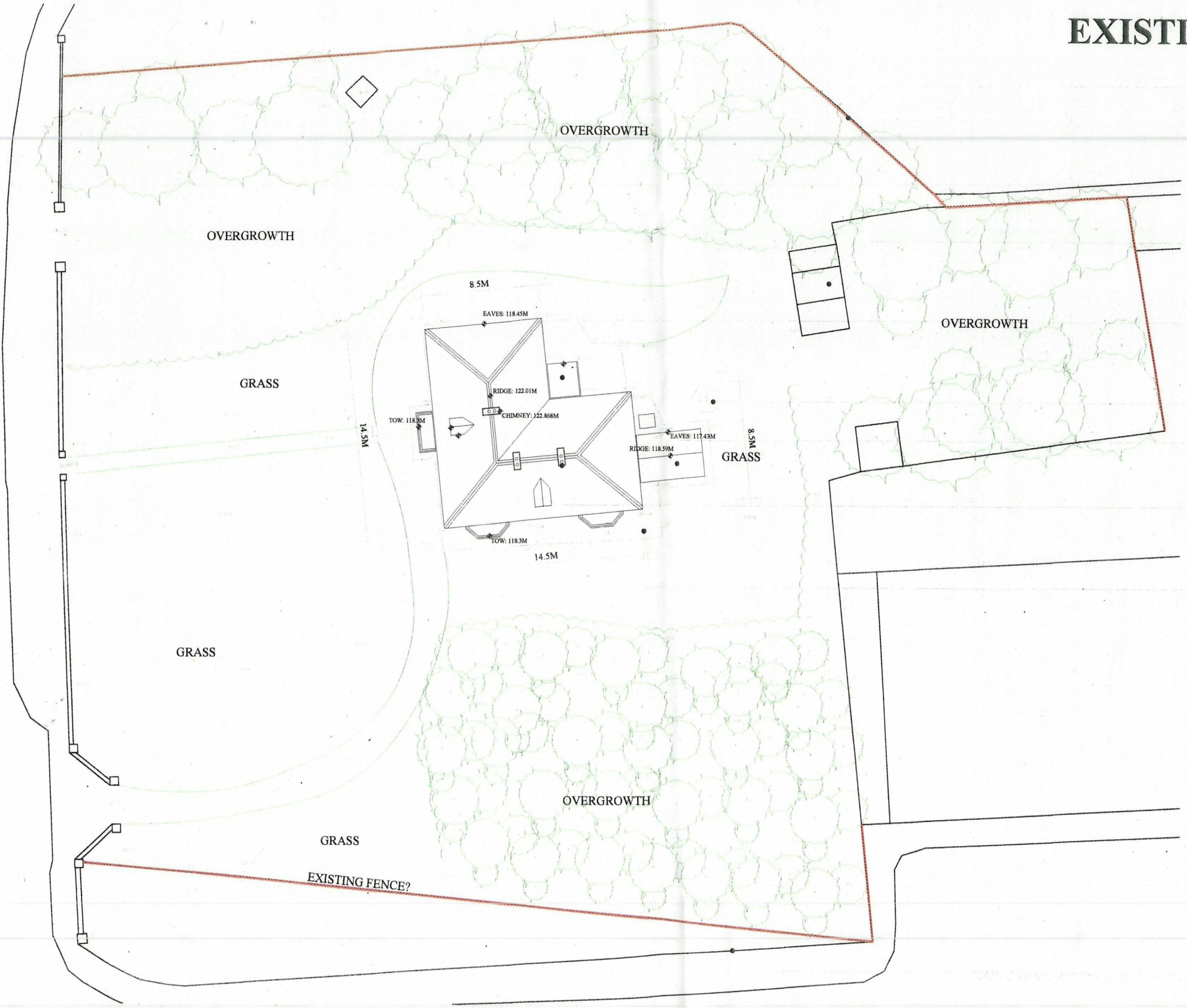
EXISTING SEPTIC TANK

DEMOLISH LIGHTWEIGHT TIMBER EXTENSION

RE-POINTING AND REPAIRS TO ALL CHIMNEYS. ALLOW FOR NEW LEAD FLASHINGS

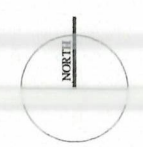
REMOVE CONCRETE PATHS FROM PERIMETER OF HOUSE

STEEL 3M MESH FENCING TO PERIMETER OF SITE WHERE SHOWN RED DASH



FOR CONSTRUCTION. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE FROM DRAWING

NOTES:
 The Building Regulations 1997 and subsequent amendments ("the Regulations") require that all works to which the Regulations apply must be carried out with proper materials and in a workmanlike manner. All building works are to be carried out strictly in accordance with the Building Regulations.
 Copyright in documents and drawings prepared by TOB Architects and in any works derived from those documents and drawings shall, unless otherwise agreed, remain the property of TOB Architects.
 T O B Architects property.
 Survey Drawings, are based on visual surveying with a tape measure. Drawings represent a general record of size and rough dimensions of the existing condition to allow architects work only.



| | | | | |
|-----------------------|--|---------------------|------------|---|
| PROJECT TITLE: | 83.MCCK. RENOVATIONS TO VICTORIAN BUNGALOW | SCALE: | 1.300 @ A3 | t o b Architect {Thomas O'Brien BArch(hons),MRIAI 3 GREAT DENMARK STREET DUBLIN 1 tel:085 1311185 web: www.tobarchitect.ie email: info@tobarchitect.ie |
| DRAWING TITLE: | EXISTING SITE PLAN | DRAWING NO.: | C.001 | |
| CLIENT: | Kirsty and Conor Ryan | REVISION: | | |
| COMMENCED: | 01.02.2023 | ISSUED: | 29.01.2024 | |
| | | STAGE: | CONTRACT | |



PROPOSED SITE PLAN

SCALE: 1.300@A3

STEEL 3M MESH FENCING TO PERIMETER OF SITE WHERE SHOWN RED DASH

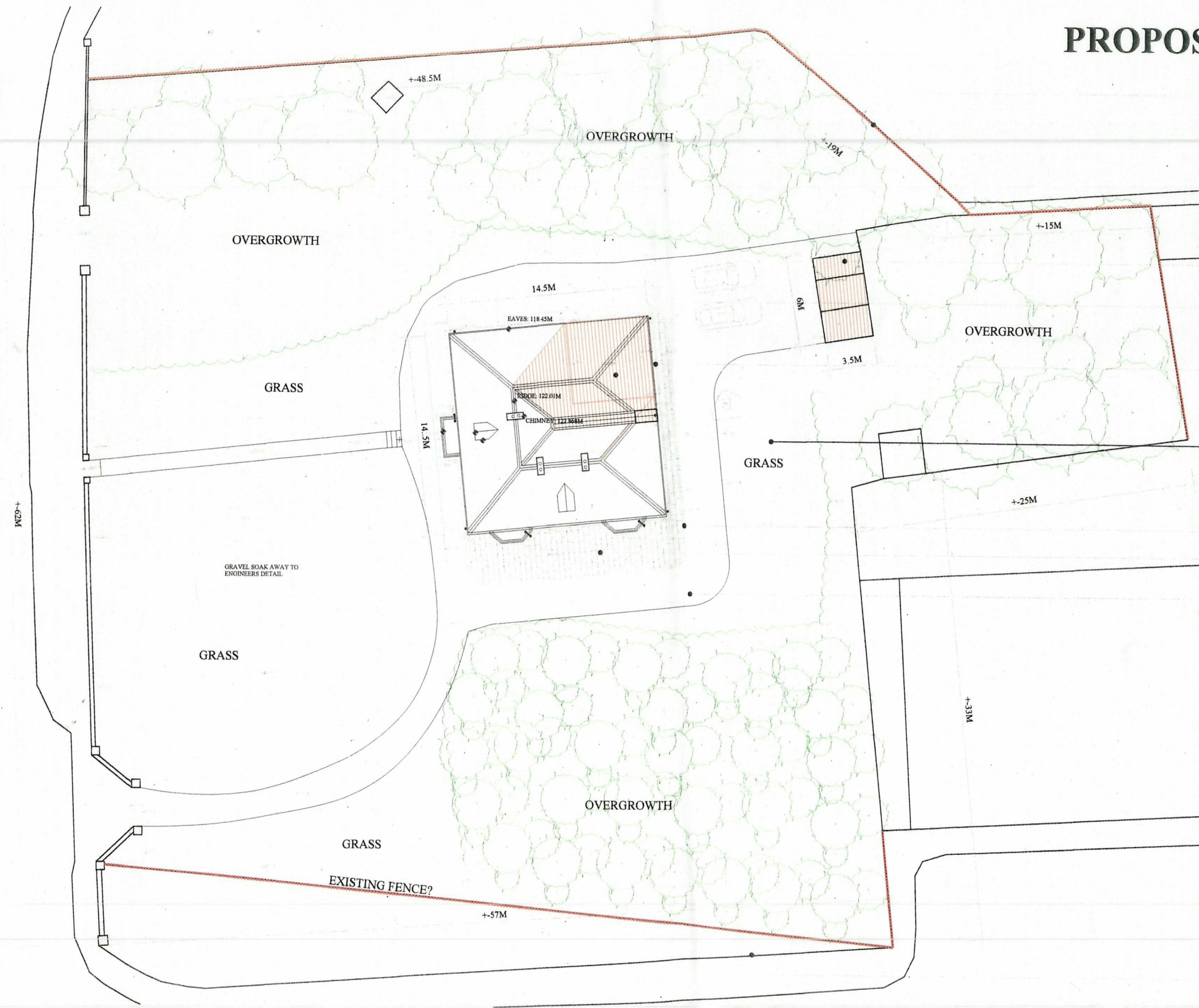
STRUCTURAL REPAIRS AND NEW CORRUGATED ROOF TO SHED
EXTENSION ROOF-WORK

WASHED STONE FRENCH DRAIN TO PERIMETER OF HOUSE

EXTEND NEW RE-SEEDED LAWN BEYOND EXISTING SEPTIC TANK
NEW HERITAGE STYLE ALUMINUM RAINWATER GOODS AND DRAINAGE TO SOAK AWAY
NEW KILKENNY LIMESTONE PATIO 7 PAVING (48M2)

EXTEND WASHED GRAVEL SURFACES AROUND HOUSE. ALLOW FOR NEW TREATED TIMBER KERBS AND RE-SURFACING OF DRIVEWAY ALSO

STEEL 3M MESH FENCING TO PERIMETER OF SITE WHERE SHOWN RED DASH



FOR CONSTRUCTION. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE FROM DRAWING

ISSUE: CONTRACT

NOTES:
The Building Regulations 1997 and subsequent amendments ("the Regulations") require that all works to which the Regulations apply must be carried out with proper materials and in a workmanlike manner. All building works are to be carried out strictly in accordance with the Building Regulations.
Copyright in documents and drawings prepared by TOB Architects and in any works prepared by TOB Architects shall, unless otherwise agreed, remain the property of TOB Architects.
Survey Drawings, are based on visual surveying with a tape measure. Drawings represent a general record of size and rough dimensions of the existing condition to allow architects work only.



| | | | |
|----------------|--|--------------|------------|
| PROJECT TITLE: | 83.MCCK. RENOVATIONS TO VICTORIAN BUNGALOW | SCALE: | 1.300 @ A3 |
| DRAWING TITLE: | EXISTING SITE PLAN | DRAWING NO.: | C.002 |
| CLIENT: | Kirsty and Conor Ryan | ISSUED: | 29.01.2024 |
| COMMENCED: | 01.02.2023 | STAGE: | CONTRACT |

t o b Architect
{Thomas O'Brien BArch(hons),MRIAI}

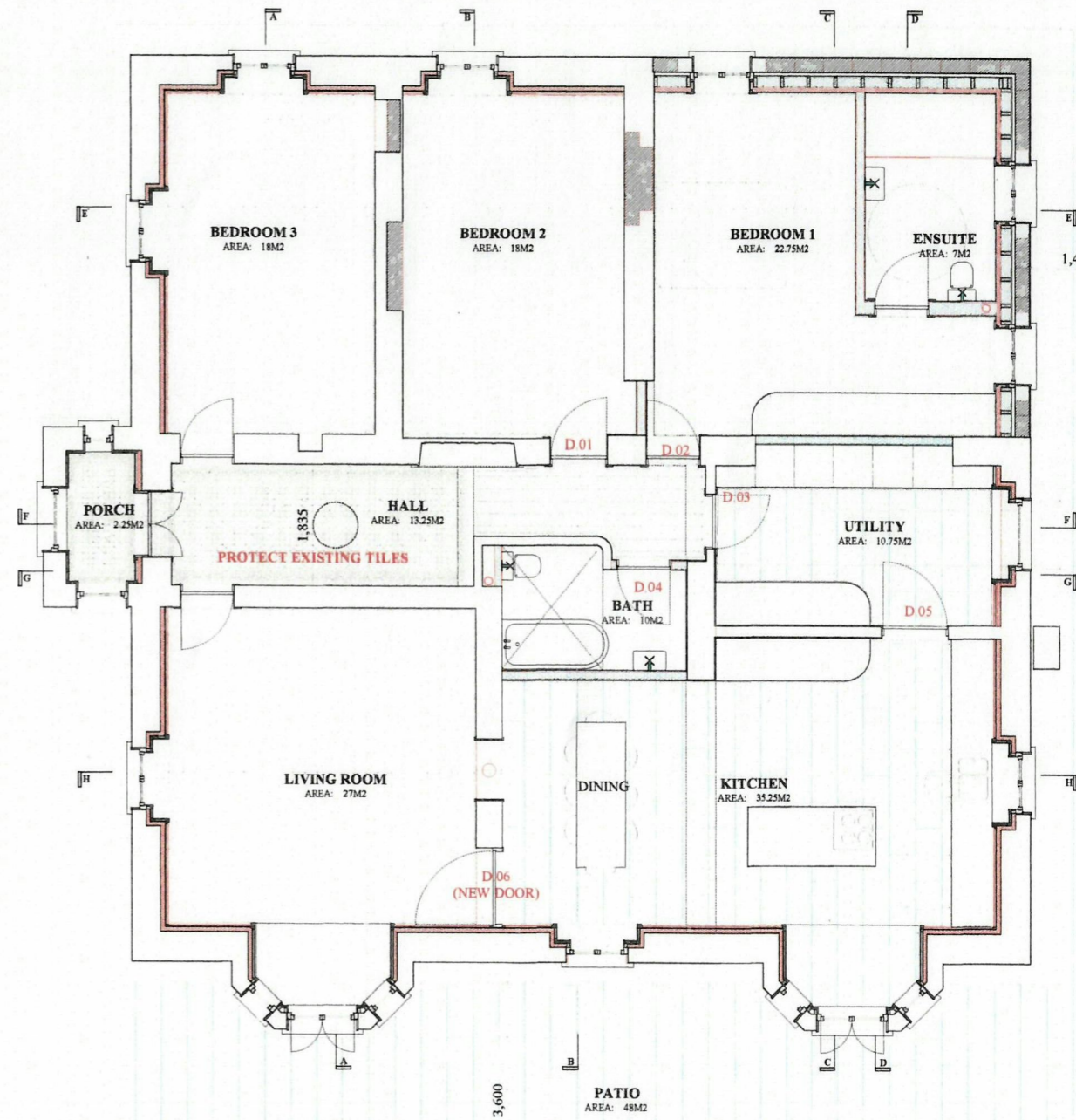
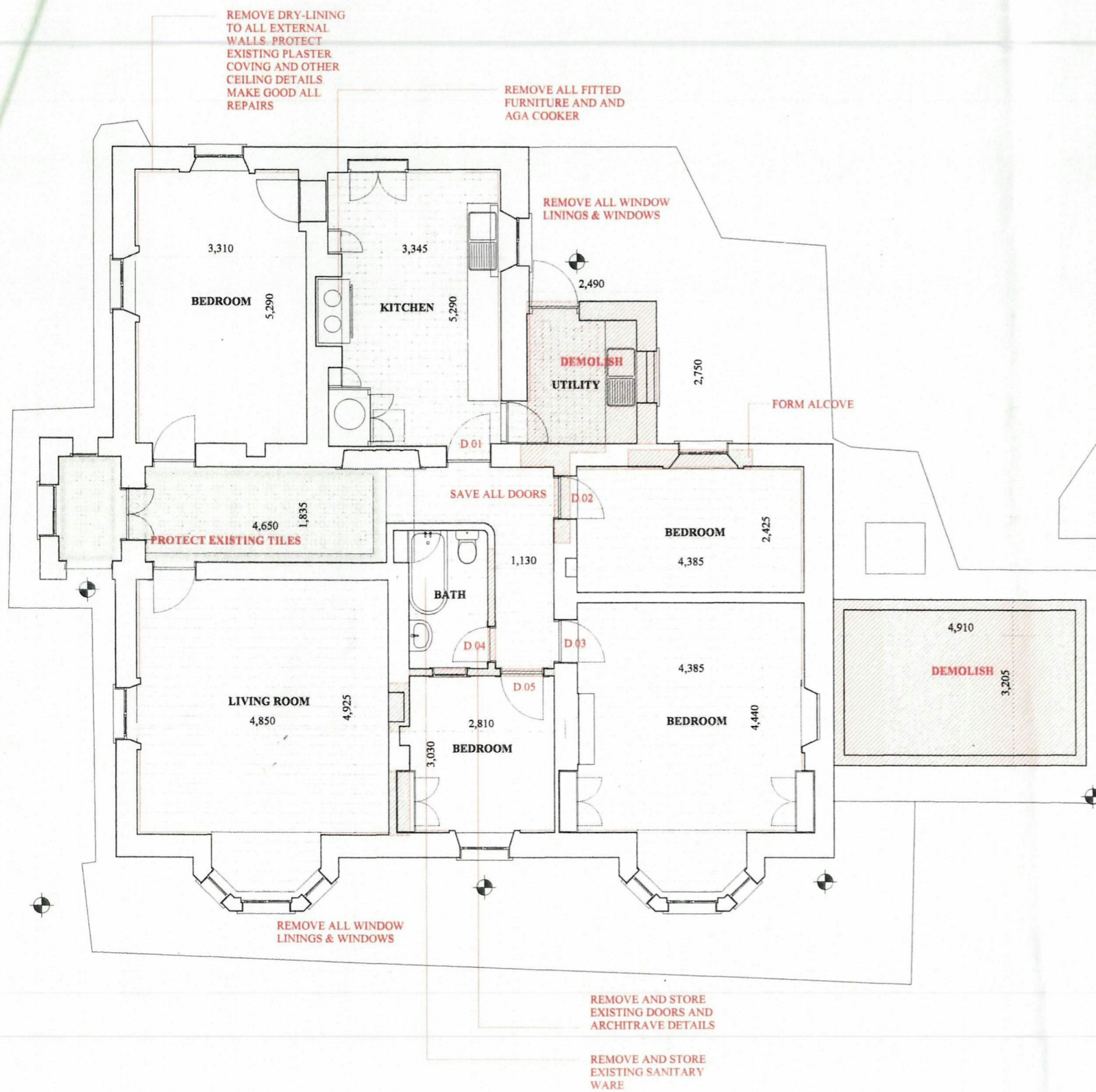
3 GREAT DENMARK STREET
DUBLIN 1
tel: 085 1311185
web: www.tobarchitect.ie
email: info@tobarchitect.ie

EXISTING GROUND FLOOR PLAN

SCALE: 1:100@A3

PROPOSED GROUND FLOOR PLAN

SCALE: 1:100@A3



14,130

NOTES:
 BUILDING REGULATIONS
 The Building Regulations 1997 and subsequent amendments ("the Regulations") require that all works to which the Regulations apply must be carried out with proper materials and to a workmanlike manner. All building works are to be carried out in accordance with the Regulations.
 Copyright in documents and drawings prepared by TOB Architects and in any works executed from those documents and drawings shall, unless otherwise agreed, remain TOB Architects property.

- CAST IN-SITU FAIR FACED CONCRETE TO SPEC
- THERMAL BLOCK WORK TO ENGINEER'S SPEC.
- STRUCTURAL BLOCK WORK TO ENGINEER'S SPEC.
- NEW INSULATION TO ARCHITECTS SPEC.
- TIMBER JOINERY TO ARCHITECTS SPEC.

- AIRTIGHT SEAL TO WINDOWS AND DOORS
- ROOFING MEMBRANE / DPC
- RADON BARRIER / TANKING

FOR CONSTRUCTION, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE FROM DRAWING.

| | |
|---|--------------------|
| PROJECT TITLE: 83 MCKK. RENOVATIONS TO BUNGALOW | SCALE: 1:100@A3 |
| DRAWING TITLE: EXISTING AND PROPOSED PLANS | DRAWING NO.: C.003 |
| CLIENT: KIRSTY AND CONOR RYAN | ISSUED: 24.10.2023 |
| COMMENCED: 01.02.2023 | STAGE: CONTRACT |

CONTRACT

TOB Architects
 (Thomas O'Brien Architects) Ltd
 3 GREAT DENMARK STREET
 LONDON, W1A 1AA
 TEL: 085 1311185
 WEB: www.tobarchitect.ie
 EMAIL: info@tobarchitect.ie



Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
Cluain Meala,
Co. Thiobraid Árann
Tipperary County Council,
Civic Offices, Clonmel,
Co. Tipperary
E91 N512

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
An tAonach,
Co. Thiobraid Árann
Tipperary County Council,
Civic Offices, Nenagh,
Co. Tipperary
E45 A099

t 0818 06 5000
e customerservice
@tipperarycoco.ie
tipperarycoco.ie

Our Ref: S5/24/13

Date: 31st January 2024

Civic Offices, Clonmel

Kirsty Ryan
Teach Aolchloiche
Ballinahinch
Cashel
Co. Tipperary.
E25 X029

Re: Application for a Section 5 Declaration – Demolition of original timer extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc. at 'The Bungalow' Cahir Road, Cashel, Co. Tipperary, E25K243.

Dear Sir/Madam

I acknowledge receipt of your application for a Section 5 Declaration received on 31st January, 2023, in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours faithfully

for **Director of Services**

TIPPERARY COUNTY COUNCIL

Application for Declaration under Section 5

Planning & Development Act 2000, as amended
Planning & Development Regulations 2001, as amended

Planning Reference: S5/24/13

Applicant: Kirsty Ryan

Development Address: Ashwells Lot, Cahir Road, Cashel, Co. Tipperary E25 K243

Proposed Development: Demolition of original timber extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc.

Date of Inspection: 27/02/2024

1. **GENERAL**

On the 31st January 2024 a request was made for a declaration under Section 5 of the Planning and Development Act, 2000 as amended, by Kirsty Ryan in respect of the following development;

Demolition of original timber extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc.





2. **STATUTORY PROVISIONS**

The following statutory provisions are relevant to this case;

PLANNING AND DEVELOPMENT ACT 2000, AS AMENDED

Section 3 (1) of the Planning and Development Act 2000, as amended, states as follows:-

“In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Section 2(1) of the Planning and Development Act, 2000, as amended, defines “works” as:-

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 4(1) of the Planning and Development Act, 2000, as amended states:

4.- (1) The following shall be exempted developments for the purposes of this Act—

(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

4.- (2) (a) of the Planning and Development Act 2000, as amended, states as follows:-

(2)(a) The Minister may by regulations provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that—

(i) by reason of the size, nature or limited effect on its surroundings, of development belonging to that class, the carrying out of such development would not offend against principles of proper planning and sustainable development, or

(ii) the development is authorised, or is required to be authorised, by or under any enactment (whether the authorisation takes the form of the grant of a licence, consent, approval or any other type of authorisation) where the enactment concerned requires there to be consultation (howsoever described) with members of the public in relation to the proposed development prior to the granting of the authorisation (howsoever described).

Section 4 (4) of the Planning and Development Act 2000, as amended, states as follows:-

4 (4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

PLANNING AND DEVELOPMENT REGULATIONS 2001, AS AMENDED

Article 6 of the Planning and Development Regulations 2001, as amended states:

Exempted Development.

6. (1) Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001, as amended states:

| Description of Development | Conditions and Limitations |
|---|---|
| <i>The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage,</i> | <i>1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.</i> |

| | |
|--|---|
| <p><i>store, shed or other similar structure attached to the rear or to the side of the house.</i></p> | <p>(b) <i>Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.</i></p> <p>(c) <i>Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</i></p> |
| | <p>2.</p> <p>(a) <i>Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.</i></p> <p>(b) <i>Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.</i></p> <p>(c) <i>Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.</i></p> |
| | <p>3. <i>Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.</i></p> |
| | <p>4.</p> <p>(a) <i>Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.</i></p> <p>(b) <i>Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.</i></p> <p>(c) <i>The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.</i></p> <p>5. <i>The construction or erection of any such extension to the rear of the house shall not reduce the area of</i></p> |

| | |
|--|--|
| | <p><i>private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.</i></p> <p>6.</p> <p>(a) <i>Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.</i></p> <p>(b) <i>Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.</i></p> <p>(c) <i>Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</i></p> <p>7. <i>The roof of any extension shall not be used as a balcony or roof garden.</i></p> |
|--|--|

Class 5 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001, as amended states:

| Description of Development | Conditions and Limitations |
|--|---|
| <p>CLASS 5 <i>The construction, erection or alteration, within or bounding the curtilage of a house, of a gate, gateway, railing or wooden fence or a wall of brick, stone, blocks with decorative finish, other concrete blocks or mass concrete.</i></p> | <p>1. <i>The height of any such structure shall not exceed 2 metres or, in the case of a wall or fence within or bounding any garden or other space in front of a house, 1.2 metres.</i></p> <p>2. <i>Every wall other than a dry or natural stone wall bounding any garden or other space shall be capped and the face of any wall of concrete or concrete block (other than blocks with decorative finish) which will be visible from any road, path or public area, including public open space, shall be rendered or plastered.</i></p> <p>3. <i>No such structure shall be a metal palisade or other security fence.</i></p> |

Class 50 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001, as amended states:

| Description of Development | Conditions and Limitations |
|---|--|
| <p>CLASS 50 (a) <i>The demolition of a building, or buildings, within the curtilage of—</i> (i) <i>a house,</i> (ii) <i>an industrial building,</i> (iii) <i>a business premises, or</i> (iv) <i>a farmyard complex.</i></p> <p>(b) <i>The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with Class 1 or 7, respectively, of this Part of this Schedule or in accordance with a</i></p> | <p>1. <i>No such building or buildings shall abut on another building in separate ownership.</i></p> <p>2. <i>The cumulative floor area of any such building, or buildings, shall not exceed:</i> (a) <i>in the case of a building, or buildings within the curtilage of a house, 40 square metres, and</i> (b) <i>in all other cases, 100 square metres.</i></p> <p>3. <i>No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the Act.</i></p> |

| | |
|--|--|
| <i>permission for an extension or porch under the Act.</i> | |
|--|--|

Article 9 of the Planning and Development Regulations 2001, as amended sets out restrictions on exemptions and states:

9. (1) *Development to which article 6 relates shall not be exempted development for the purposes of the Act—*

(a) *if the carrying out of such development would—*

(viiB) *comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site.*

(viii) *consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use.*

3. **ASSESSMENT**

a. Site Location

The site comprises of an existing residential property in the townlands of Ashwells Lot on the Cahir Road in Cashel, Co. Tipperary

b. Relevant Planning History

None traced.

c. Assessment

The question posed under the Section 5 Declaration application is rephrased as whether **the demolition of original timber extension at back and utility room. Build a new ensuite single storey bedroom extension. General refurbishment of original house of new windows & doors** is development and is exempted development.

i) "Is or is not Development"

It is considered that the above listed proposal constitutes 'works' and therefore constitutes 'development' as understood by the Planning and Development Act, 2000, as amended.

ii) "Is or is not Exempted Development"

The proposed demolition of the utility and timber structure to the rear satisfies the exemption set out under Class 50 of Part 1 of Schedule 2 of the Regulations.

The floor area of the single storey extension is 29.75sq.m. It is unclear if the extension meets Class 1 of Part 1 of Schedule 2 of the Regulations as no elevation drawings have been provided.

The new windows and doors would appear to fall under Section 4(1)h of the Act.

The applicant will be requested to provide elevations of the proposed extension.

iii) Restrictions under Article 9

I note following an inspection of the lands and reference to the site layout plan drawing, there is a green paladine type fencing along the perimeter of the site which does not form part of the declaration. However, I note no exemption which would be availed of for same and does not fall under Class 5 of Part 1 of Schedule 2 of the Regulations due to type and height.

I do not consider that the unauthorised fence would limit the ability of the applicant to avail of an exemption to extend the dwelling.

iv) Requirement for Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)

AA

The proposal has been assessed having regard to the requirements of the EU Habitats Directive. The proposal has been screened as to the requirements for AA and the screening assessment considers that the proposal does not impact on any Natura 2000 site. See also Appropriate Assessment (AA) screening report attached.

EIA

The proposed development has been subject to a preliminary examination to determine the requirement for EIA. EIA is not required in respect of the development. See also for Environmental Impact Assessment (EIA) preliminary examination screening report attached.

4. RECOMMENDATION

Request the applicant to submit Further Information under Section 5(2) of the Planning and Development Act 2000, as amended,

1. The applicant is requested to submit elevations of the proposed extension at a scale of 1:100.

Advice Note: The applicant is advised that following a site visit the Planning Authority notes that a paladin fence has been erected on the site boundary. The subject fence does not avail of an exemption and is considered to be unauthorised.

District Planner:



Date: 27/02/2024

Senior Executive Planner:



Date: 27/02/2024



Date: 27 February 2024

Our Ref: S5/24/13

Civic Offices, Nenagh

**Kirsty Ryan,
Teach Aolchloiche,
Ballinahinch,
Cashel,
Co. Tipperary, E25 X029.**

Re: Demolition of original timber extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc. at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary, E25 K243.

Dear Ms Ryan,

I refer to an application received from you on 31st January 2023 requesting a Declaration from this Planning Authority as to whether or not certain works constitute development within the meaning of the Planning and Development Act 2000, as amended.

Further information is requested as follows;

1. The applicant is requested to submit elevations of the proposed extension at a scale of 1:100.

Advice Note: The applicant is advised that following a site visit the Planning Authority notes that a paladin fence has been erected on the site boundary. The subject fence does not avail of an exemption and is considered to be unauthorised.

Further consideration of your request for a declaration cannot be considered until the above information is received.

Yours faithfully,

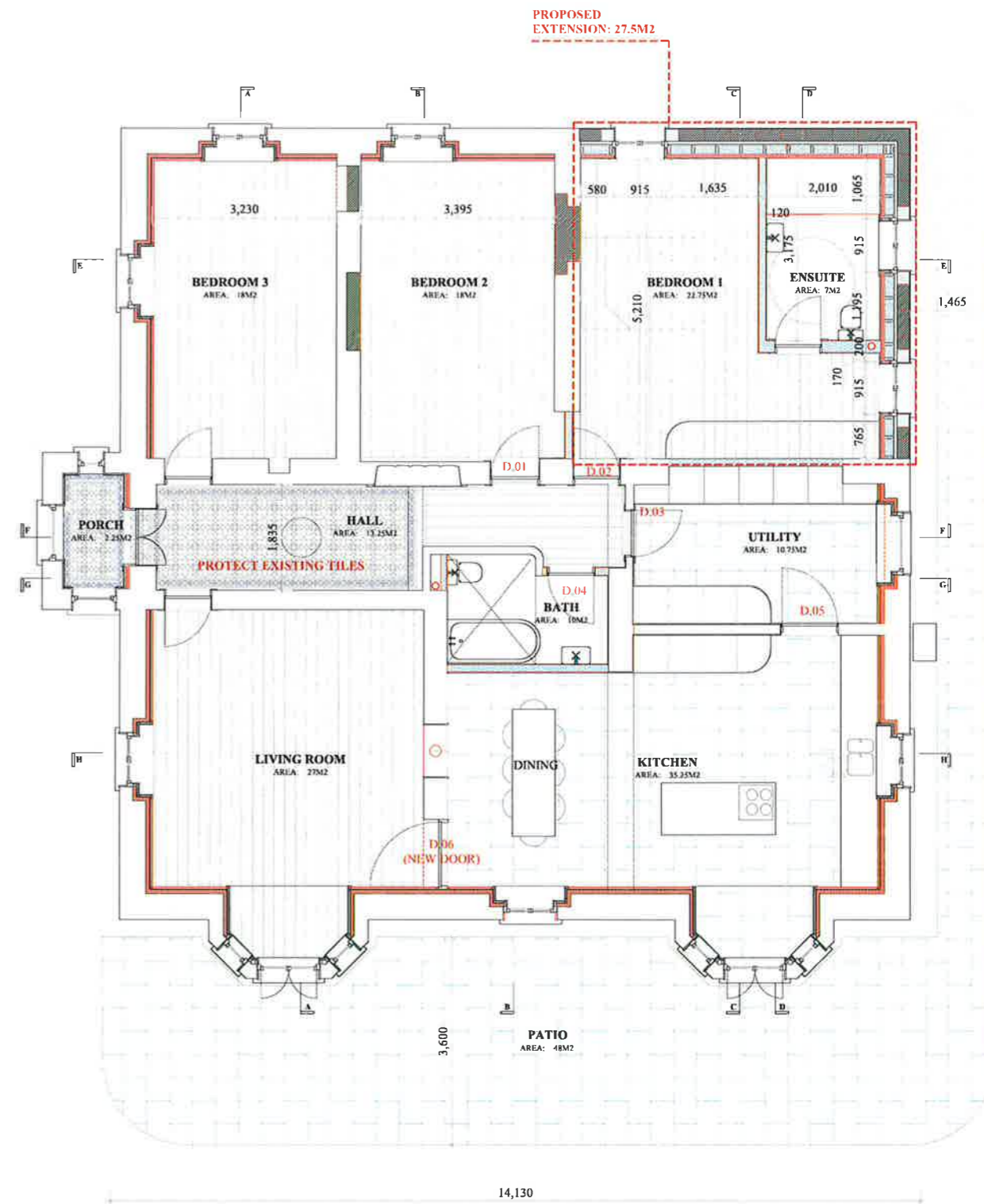
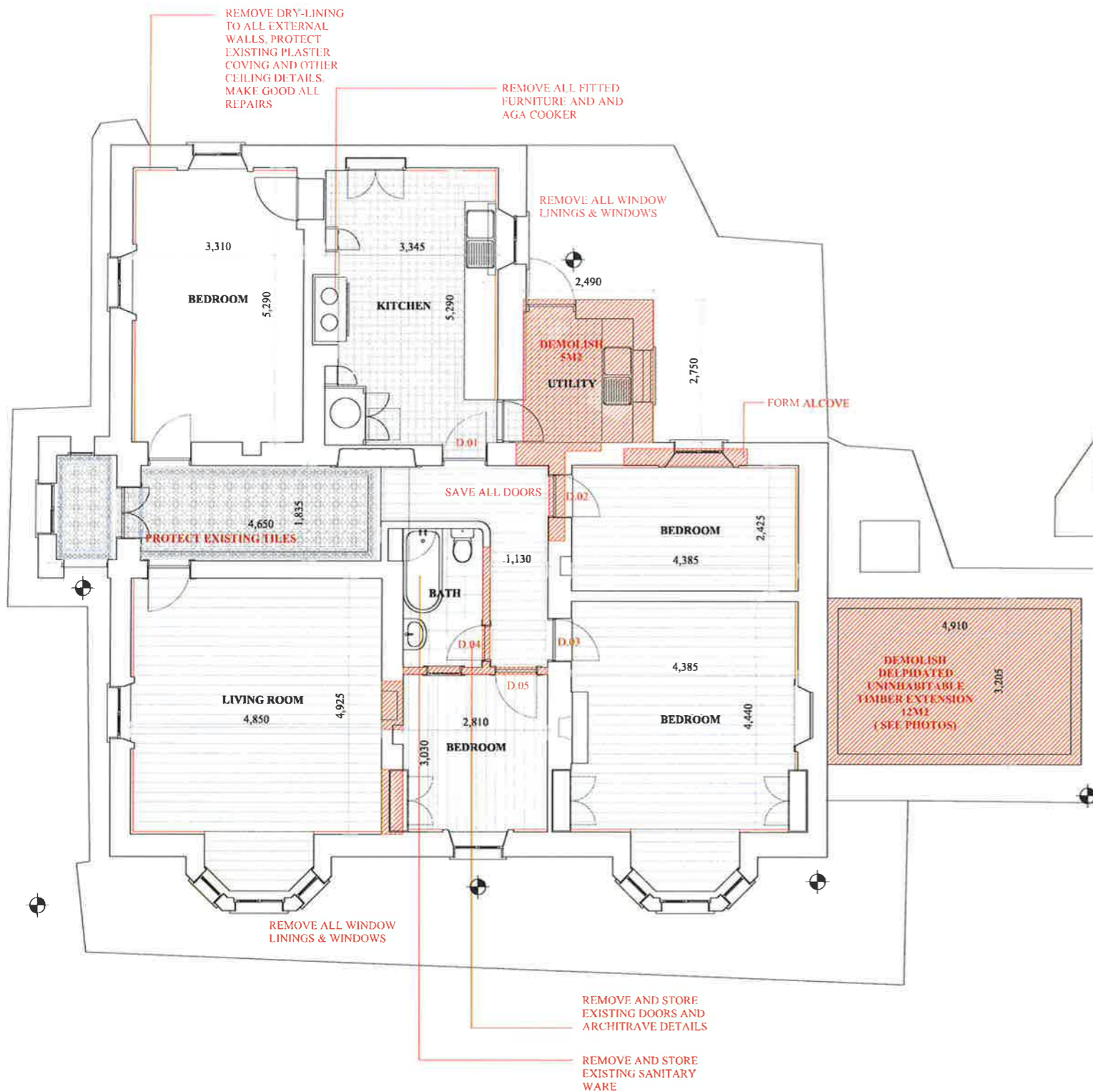
for **Director of Services**

EXISTING GROUND FLOOR PLAN

SCALE: 1:100@A3

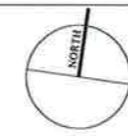
PROPOSED GROUND FLOOR PLAN

SCALE: 1:100@A3



NOTES:
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- CAST IN-SITU FAIR FACED CONCRETE TO SPEC
- THERMAL BLOCK WORK TO ENGINEER'S SPEC.
- STRUCTURAL BLOCK WORK TO ENGINEER'S SPEC.
- INSULATED STUD WALL TO SPEC.
- NEW INSULATION TO ARCHITECTS SPEC.
- TIMBER JOINERY TO ARCHITECTS SPEC.



| | |
|---|------------------------------|
| PROJECT TITLE: 83.MCCK. RENOVATIONS TO BUNGALOW | SCALE: 1:100@A3 |
| DRAWING TITLE: EXISTING AND PROPOSED PLANS | DRAWING NO.: SECT.5.003 |
| CLIENT: Kirsty And Conor Ryan | ISSUED: 11.03.2024 |
| COMMENCED: 01.02.2023 | STAGE:SECTION 5. APPLICATION |

ISSUE: SECT 5

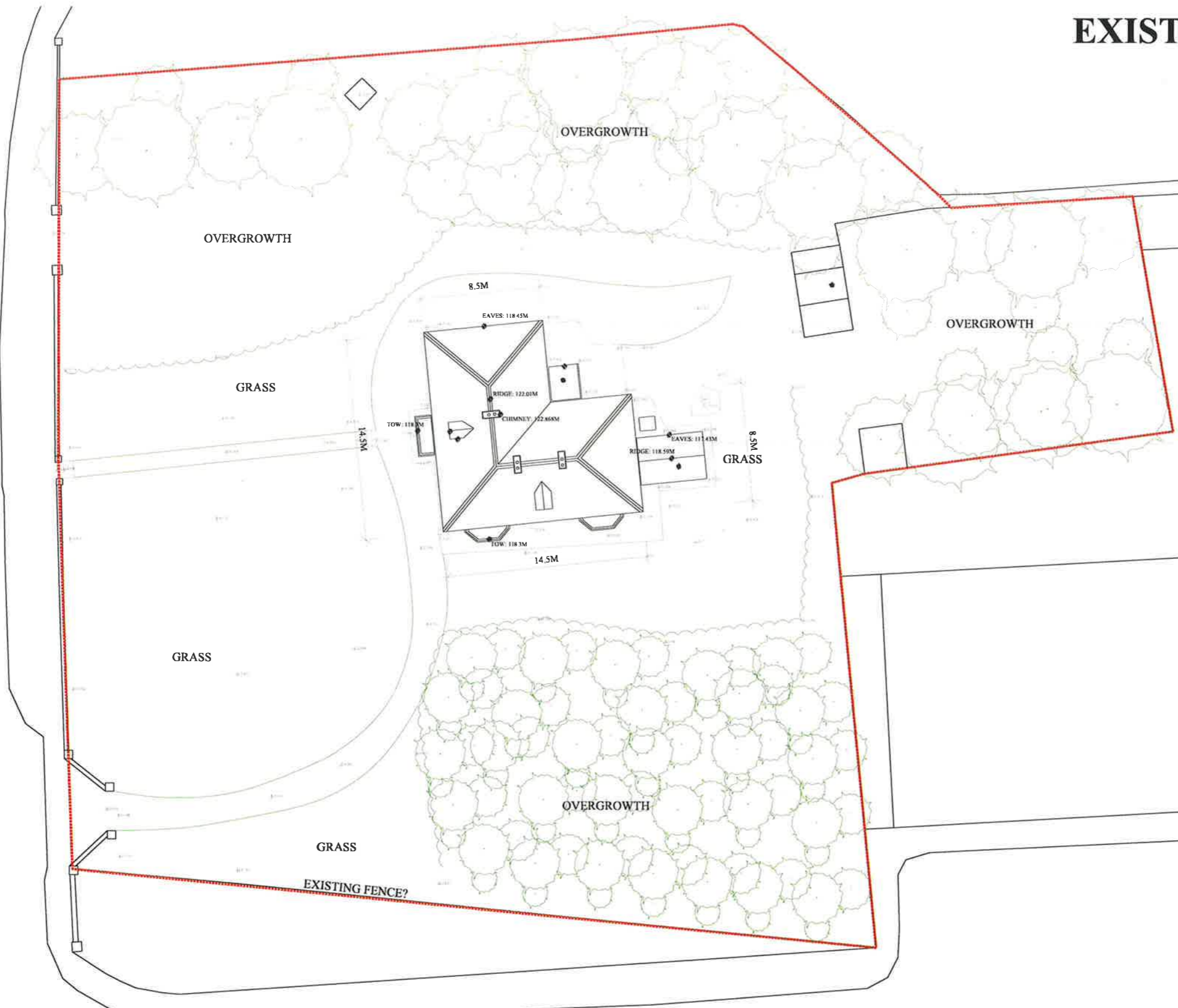
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 email: info@tobarchitects.ie



ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE FROM DRAWING.

EXISTING SITE PLAN

SCALE: 1.300@A3



CLEAR ALL OVERGROWTH FROM EXISTING SHEDS - MAKE READY FOR REPAIRS.

DEMOLISH LIGHTWEIGHT FLAT ROOF BLOCK-WORK EXTENSION

DEMOLISH LIGHTWEIGHT TIMBER EXTENSION



EXISTING UN-INSULATED FLAT ROOF BLOCK-WORK EXTENSION



UN-INSULATED LIGHTWEIGHT TIMBER EXTENSION

NOT FOR CONSTRUCTION. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. USE ONLY FIGURED DIMENSIONS. DO NOT SCALE FROM DRAWING

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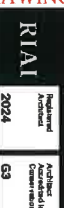
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| PROJECT TITLE: | 83.MCCK. RENOVATIONS TO VICTORIAN BUNGALOW |
| DRAWING TITLE: | EXISTING SITE PLAN |
| CLIENT: | Kirsty And Conor Ryan |
| COMMENCED: | 01.02.2023 |

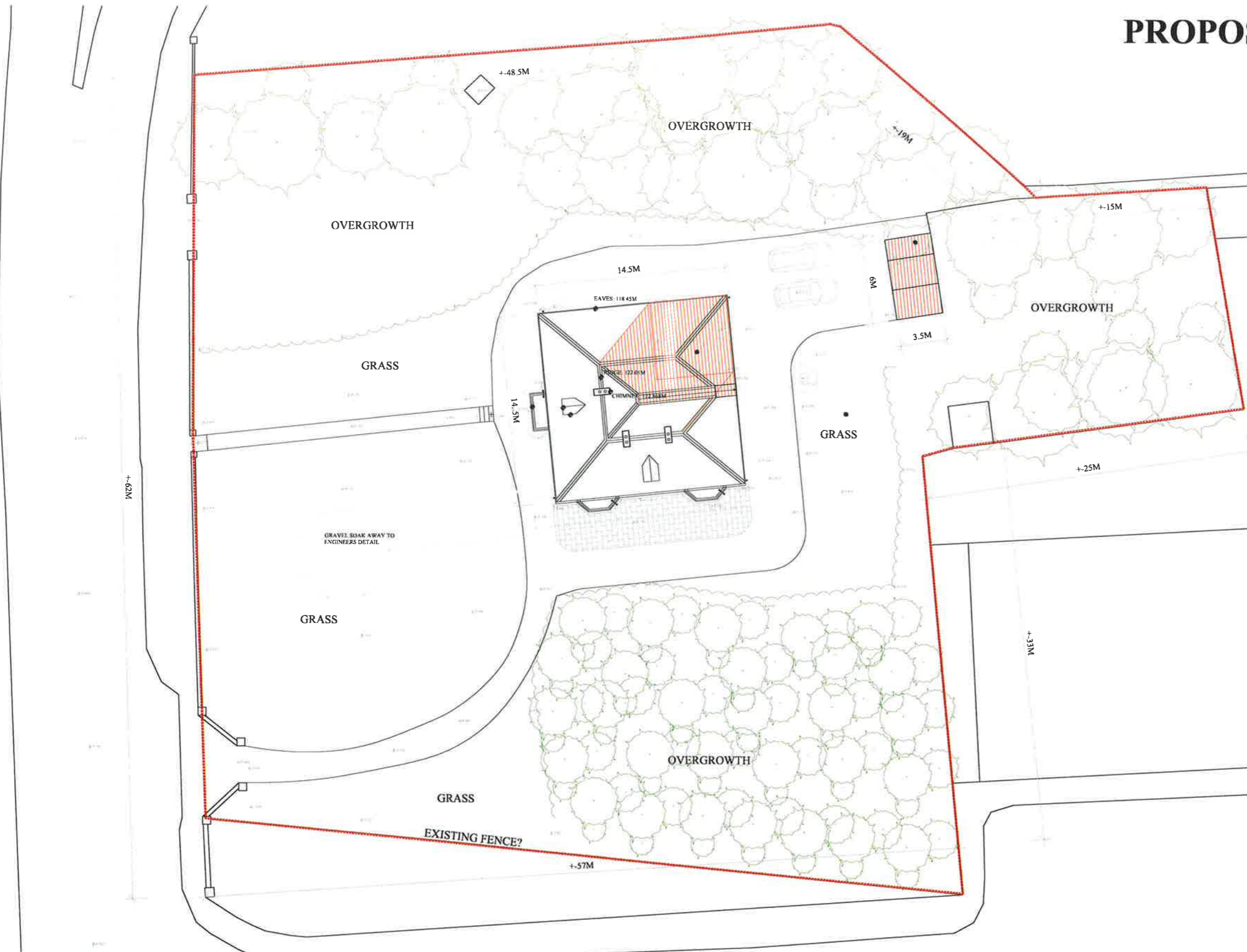
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| SCALE: | 1.300 @ A3 |
| DRAWING NO.: | SECT 5.001 |
| REVISION: | |
| ISSUED: | 11.03.2024 |
| STAGE: | SECTION 5. APPLICATION |

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PROPOSED SITE PLAN

SCALE: 1.300@A3



STRUCTURAL
REPAIRS AND NEW
CORRUGATED
ROOF TO SHED

EXTENSION &
ROOF-WORK

PROPOSED EXTENSION DESIGN REFERENCE
THE CRITERIA FOR EXEMPTED DEVELOPMENT
:

THE EXTENSION IS TO THE REAR OF THE MAIN
HOUSE.

THE EXTENSION IS LESS THAN 40M2

IT IS COMPRISED SOLELY OF GROUND FLOOR
DEVELOPMENT.

IT RESPECTS EXISTING EAVES AND RIDGE
LEVELS.

IT REPLACES DILAPIDATED NON-COMPLIANT
PREVIOUS EXTENSIONS.

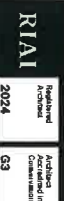
ISSUE: SECT 5

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| | | | | |
|-----------------------|--|---------------------|------------------------|---|
| PROJECT TITLE: | 83.MCCK. RENOVATIONS TO VICTORIAN BUNGALOW | SCALE: | 1.300 @ A3 | t o b Architect {Thomas O'Brien BArch(hons),MRIAI 3 GREAT DENMARK STREET DUBLIN 1 tel:085 1311185 web: www.tobarchitect.ie email: info@tobarchitect.ie |
| DRAWING TITLE: | EXISTING SITE PLAN | DRAWING NO.: | SECT 5.002 | |
| CLIENT: | Kirsty And Conor Ryan | ISSUED: | 11.03.2024 | |
| COMMENCED: | 01.02.2023 | STAGE: | SECTION 5. APPLICATION | |





Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
Thiobraid Árann,
Oifigi Cathartha,
Cluain Meala,
Co. Thiobraid Árann

Tipperary County Council,
Civic Offices, Clonmel,
Co. Tipperary

E91 N512

Comhairle Contae
Thiobraid Árann,
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An tAonach,
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Tipperary County Council,
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Co. Tipperary

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Date: 12 March 2024

Our Ref: S5/24/13

Civic Offices, Nenagh

**Kirsty Ryan,
Teach Aolchloiche,
Ballinahinch,
Cashel,
Co. Tipperary, E25 X029.**

Re: Application for a Section 5 Declaration - Demolition of original timer extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc. at 'The Bungalow' Cahir Road, Cashel, Co. Tipperary, E25K243.

Dear Sir/Madam

I acknowledge receipt of Further Information received on 11th March, 2024 in connection with the above.

I wish to advise that you will be notified of a decision on your application in due course.

Yours sincerely

for **Director of Services**

PROPOSED SOUTH ELEVATION

SCALE: 1:100@A3

CHIMNEY: 7.470M

RIDGE: 6.610M

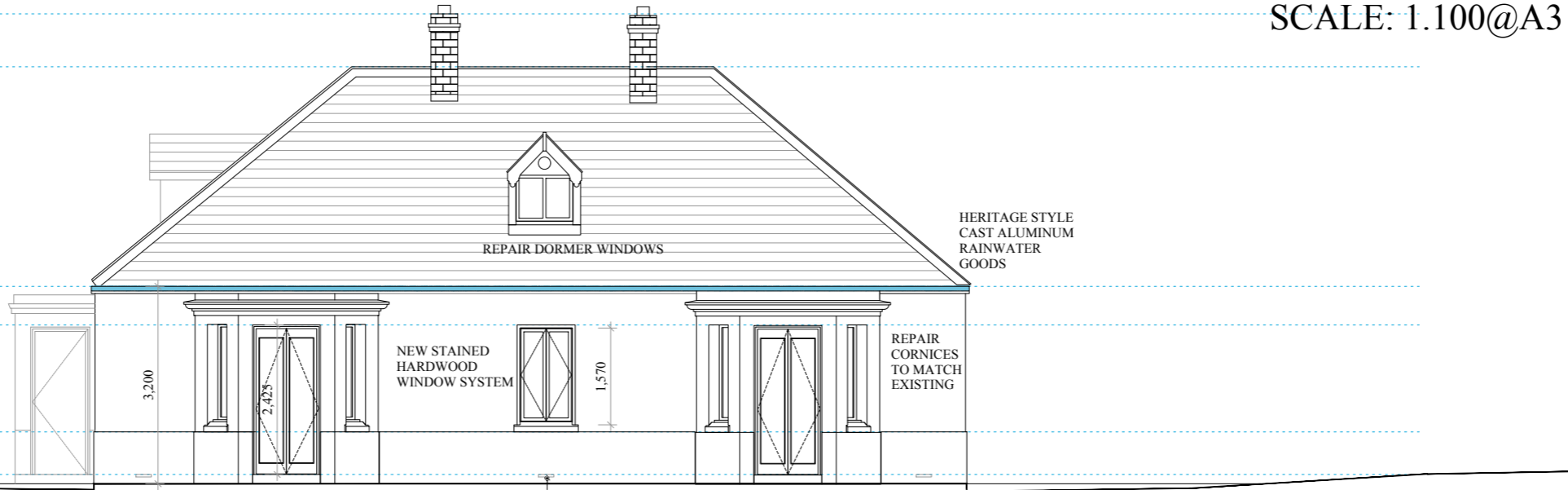
EAVES: 3.050M

HEAD: 2.425M

CILL: 0.690M

FFL: 0.000M

FGL: -0.150M



EXISTING EXTERNAL WALLS - EXTERIOR:

1. REMOVE EXISTING SAND CEMENT DASH RENDER TO WALL SURFACES
2. SAVE /PROTECT AND REPAIR WHERE NECESSARY EXISTING WINDOW REVEAL DETAILS AND CORNICING DETAILS
3. FORM NEW BREATHABLE LIME BASED ROUGH-CAST WHITE COLOR RENDER TO WALL SURFACES. SEE ARCHITECT IMAGES OF STYLE TO COPY. FORM SMOOTH RENDERED BASE OF WALL AS PER DRAWINGS
4. WINDOW SYSTEM AS PER ARCHITECTS SCHEDULED DRAWINGS AND DETAILS. MC IS RESPONSIBLE FOR AIR-TIGHTNESS SEALING & TAPING TO INSIDE AND OUTSIDE OF FRAME.
5. EXISTING WALLS ARE ASSUMED AS ~450MM BRICK & ROUGH STONE WALLS. MAKE GOOD ANY NECESSARY REPAIRS TO EXISTING WALLS IN LIME MORTAR TO MATCH EXISTING.
6. 3NO. COATS BREATHABLE LIME BASED PAINT FINISH THROUGHOUT. ALLOW FOR BEECK RENOSIL (AVAILABLE FROM ROUND TOWER LIME) EXTERNAL PAINT. OR SIMILAR QUALITY BREATHABLE HARD WEARING COMMERCIAL GRADE GENERAL PURPOSE PAINT FOR ALL MINERAL SURFACES. COLOUR TBC.

EXISTING EXTERNAL WALLS - INTERIOR:

1. REMOVE EXISTING DRY-LINING & WINDOW LININGS TO WALL SURFACES
2. INSTALL 100MM WOOD FIBRE INSULATION - SEE SPECIFICATION FOR FULL DETAIL AND INSTALLATION GUIDE.
3. INTERNAL LIME RENDER TO SPEC.
4. PAINTING TO SPEC.
5. TIMBER WAINSCOTTING (SERVICES ZONE) TO SPEC.
6. PAINTED SOFTWOOD SKIRTING BOARDS AND PICTURE RAIL TO SPECIFICATION.
7. REPAIRS AND REPLACEMENT OF ORNATE PLASTER DETAILING AS DESCRIBED ELSEWHERE.

ROOF BUILD UPS:

1. REPLACEMENT SLATES TO MATCH EXISTING NATURAL SLATES
2. NEW CLAY RIDGE TILES TO MATCH EXISTING RIDGE TILES
3. BOTTOM 3-4 ROWS OF EXISTING SLATE ROOFS TO BE REMOVED TO ALLOW FOR CONTINUOUS INSULATION AT EAVES.
4. NEW ROOF IN C-16 KILN DRIED PRESSURE TREATED TIMBER TO ENGINEERS DETAIL + DESIGN
5. ALLOW FOR REPAIRS AND REPOINTING OF EXISTING CHIMNEYS.
6. ALLOW FOR REPAIRS TO LEAD VALLEY GUTTERS AND FLASHINGS.
7. FORM 2 NEW LEAD LINED VALLEY GUTTERS AT JUNCTION OF NEW AND OLD ROOF.
8. ALLOW FOR NEW ALUMASC OR SIMILAR HIGH QUALITY 6" HALF ROUND HERITAGE STYLE RAINWATER GOOD THROUGHOUT.
9. ALLOW FOR 2 ACCESS INSULATED POINTS TO ATTICS
10. INSTALL WIND-TIGHT BREATHER MEMBRANE TO ARCHITECTS SPECIFICATION. BETWEEN AND OVER EXISTING TIMBER JOISTS
11. FULL FILL BETWEEN JOISTS WITH ROCKWOOL FLEXI OR SIMILAR MINERAL WOOL BATTE INSULATION TO ARCHITECTS SPECIFICATION.
12. CROSS LAY ~200MM CONTINUOUS ROCKWOOL OR SIMILAR MINERAL WOOL ROLL INSULATION OVER JOISTS.

MINIMUM U VALUE TO ACHIEVE IS 0.15W/M2K.

FLAT ROOF BUILD UPS:

1. INSPECT FLAT ROOF AREAS- BAY WINDOWS AND OVER FRONT PORCH.
2. FORM PARALON OR SIMILAR APPROVED SINGLE-PLY MEMBRANE ACCORDING TO MANUFACTURERS DETAILS. CONTRACTOR WARRANTIES TO BE PROVIDED. ON 50MM PIR ROOFING INSULATION ON BITUMEN BACKED VAPOR CONTROL LAYER. THE VCL IS FULLY TORCH-BONDED TO THE DECK WITH SIDE LAPS OF 100 MM AND END LAPS OF 150 MM
3. REPAIR PARAPETS AND CORNICING DETAILS TO MATCH THE EXISTING WORK.

EXISTING SOUTH ELEVATION

SCALE: 1:100@A3

CHIMNEY: 7.470M

RIDGE: 6.610M

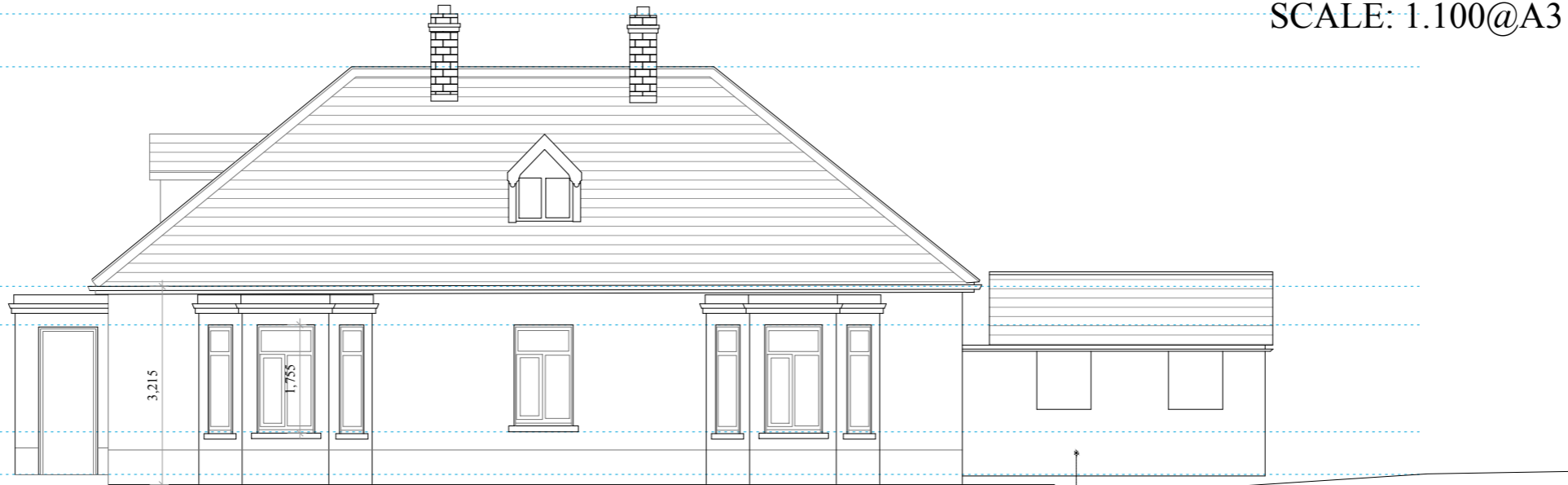
EAVES: 3.050M

HEAD: 2.425M

CILL: 0.690M

FFL: 0.000M

FGL: -0.150M



NOTES:
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| PROJECT TITLE: 83.MCCK. RENOVATIONS TO BUNGALOW | SCALE: 1:100@A3 |
| DRAWING TITLE: EXISTING AND PROPOSED SOUTH ELEVATION | DRAWING NO.: SECT.5.200 |
| CLIENT: Kirsty And Conor Ryan | ISSUED: 11.03.2024 |
| COMMENCED: 01.02.2023 | STAGE:SECTION 5. APPLICATION |

ISSUE: SECT 5

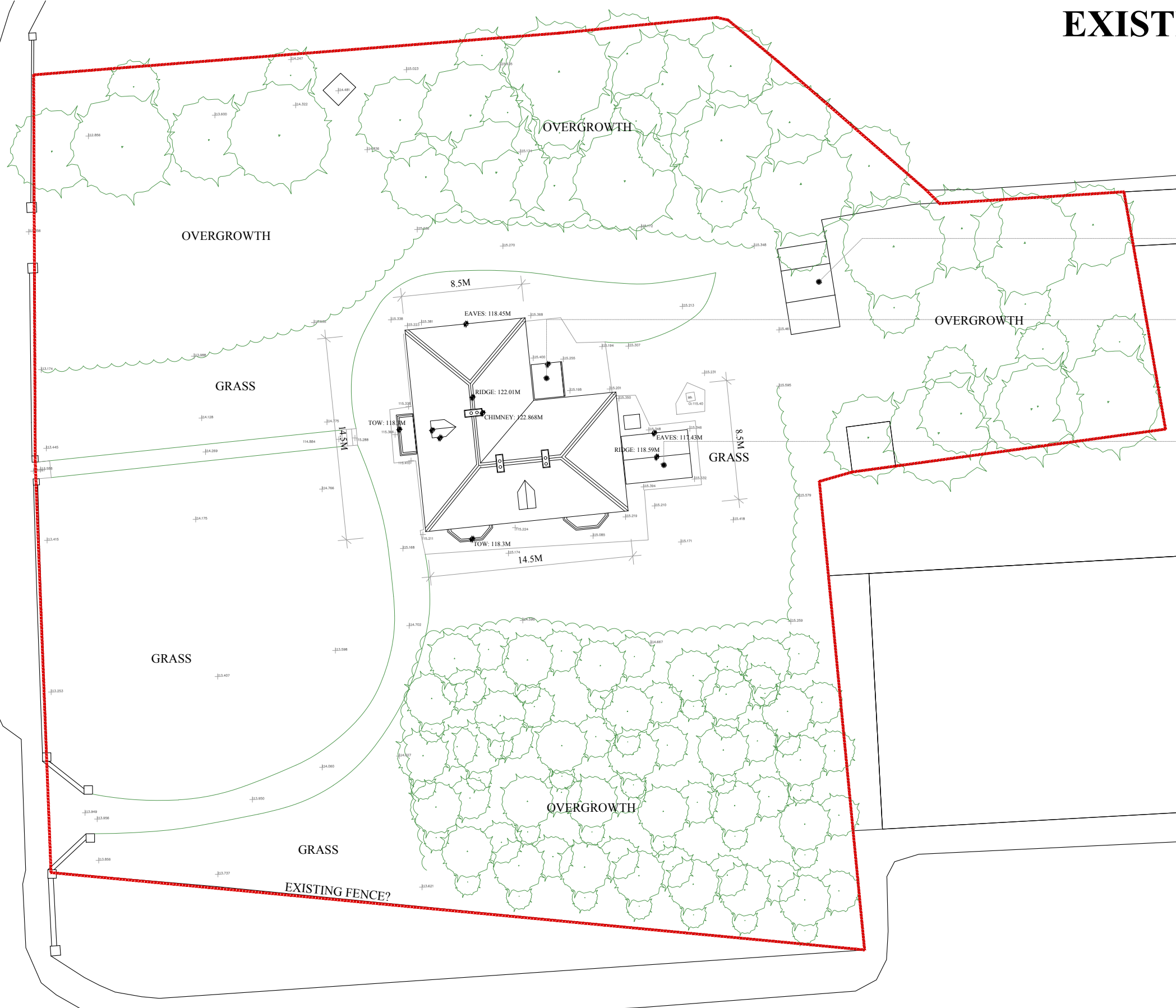
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web: www.tobarchitect.ie
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EXISTING SITE PLAN

SCALE: 1.300@A3



CLEAR ALL OVERGROWTH FORM EXISTING SHEDS - MAKE READY FOR REPAIRS.

DEMOLISH LIGHTWEIGHT FLAT ROOF BLOCK-WORK EXTENSION

DEMOLISH LIGHTWEIGHT TIMBER EXTENSION



EXISTING UN-INSULATED FLAT ROOF BLOCK-WORK EXTENSION

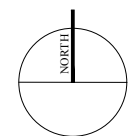


UN-INSULATED LIGHTWEIGHT TIMBER EXTENSION

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| PROJECT TITLE: | 83.MCCK. RENOVATIONS TO VICTORIAN BUNGALOW |
| DRAWING TITLE: | EXISTING SITE PLAN |
| CLIENT: | Kirsty And Conor Ryan |
| COMMENCED: | 01.02.2023 |

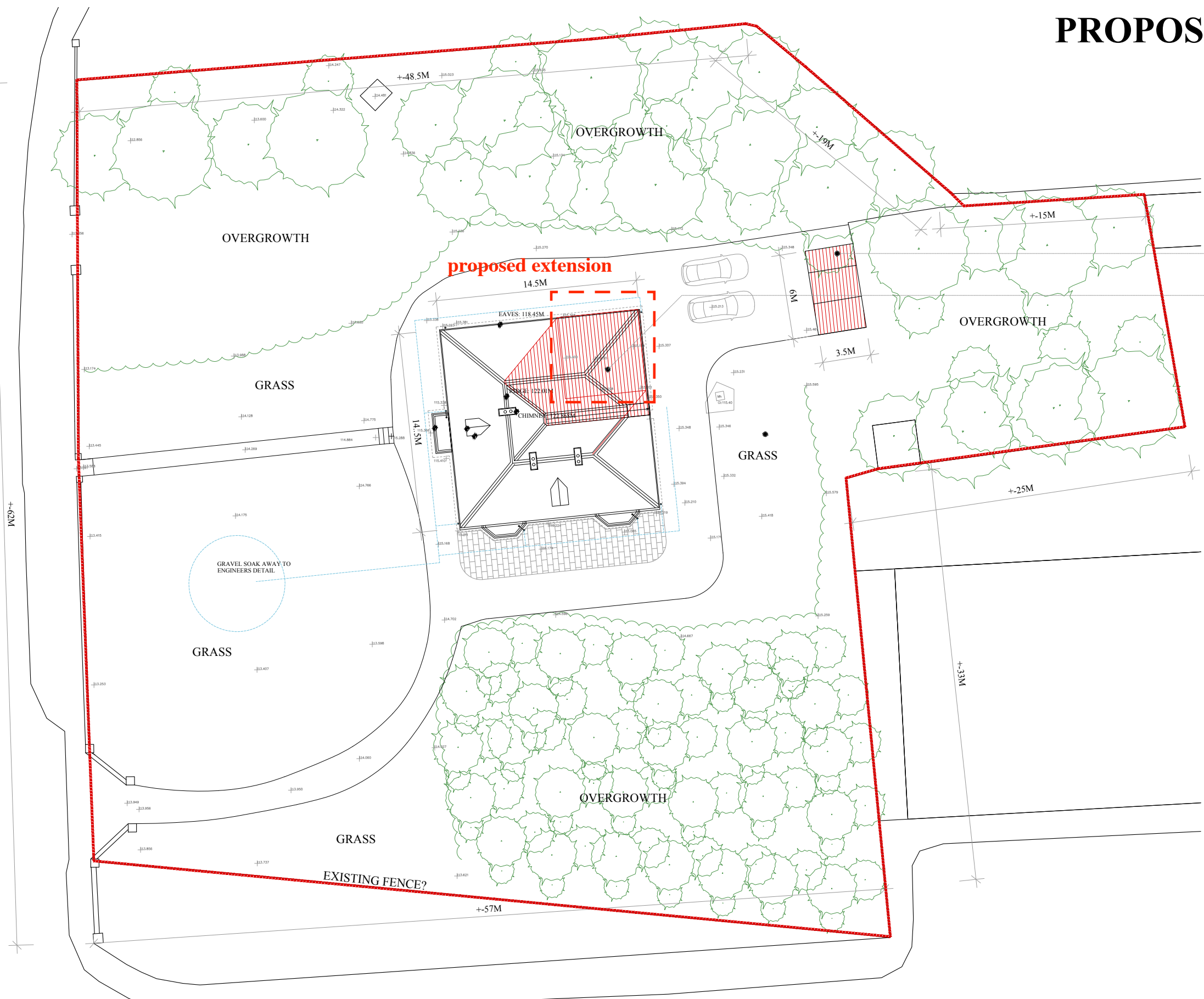
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|---------------------|------------------------|
| SCALE: | 1.300 @ A3 |
| DRAWING NO.: | SECT 5.001 |
| REVISION: | |
| ISSUED: | 11.03.2024 |
| STAGE: | SECTION 5. APPLICATION |

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PROPOSED SITE PLAN

SCALE: 1.300@A3



STRUCTURAL REPAIRS AND NEW CORRUGATED ROOF TO SHED
EXTENSION & ROOF-WORK

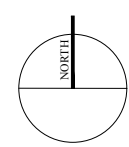
PROPOSED EXTENSION DESIGN REFERENCE THE CRITERIA FOR EXEMPTED DEVELOPMENT :

- THE EXTENSION IS TO THE REAR OF THE MAIN HOUSE.
- THE EXTENSION IS LESS THAN 40M²
- IT IS COMPRISED SOLELY OF GROUND FLOOR DEVELOPMENT.
- IT RESPECTS EXISTING EAVES AND RIDGE LEVELS.
- IT REPLACES DILAPIDATED NON-COMPLIANT PREVIOUS EXTENSIONS.

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| DRAWING TITLE: | EXISTING SITE PLAN | DRAWING NO.: | SECT 5.002 | |
| CLIENT: | Kirsty And Conor Ryan | ISSUED: | 11.03.2024 | |
| COMMENCED: | 01.02.2023 | STAGE: | SECTION 5. APPLICATION | |

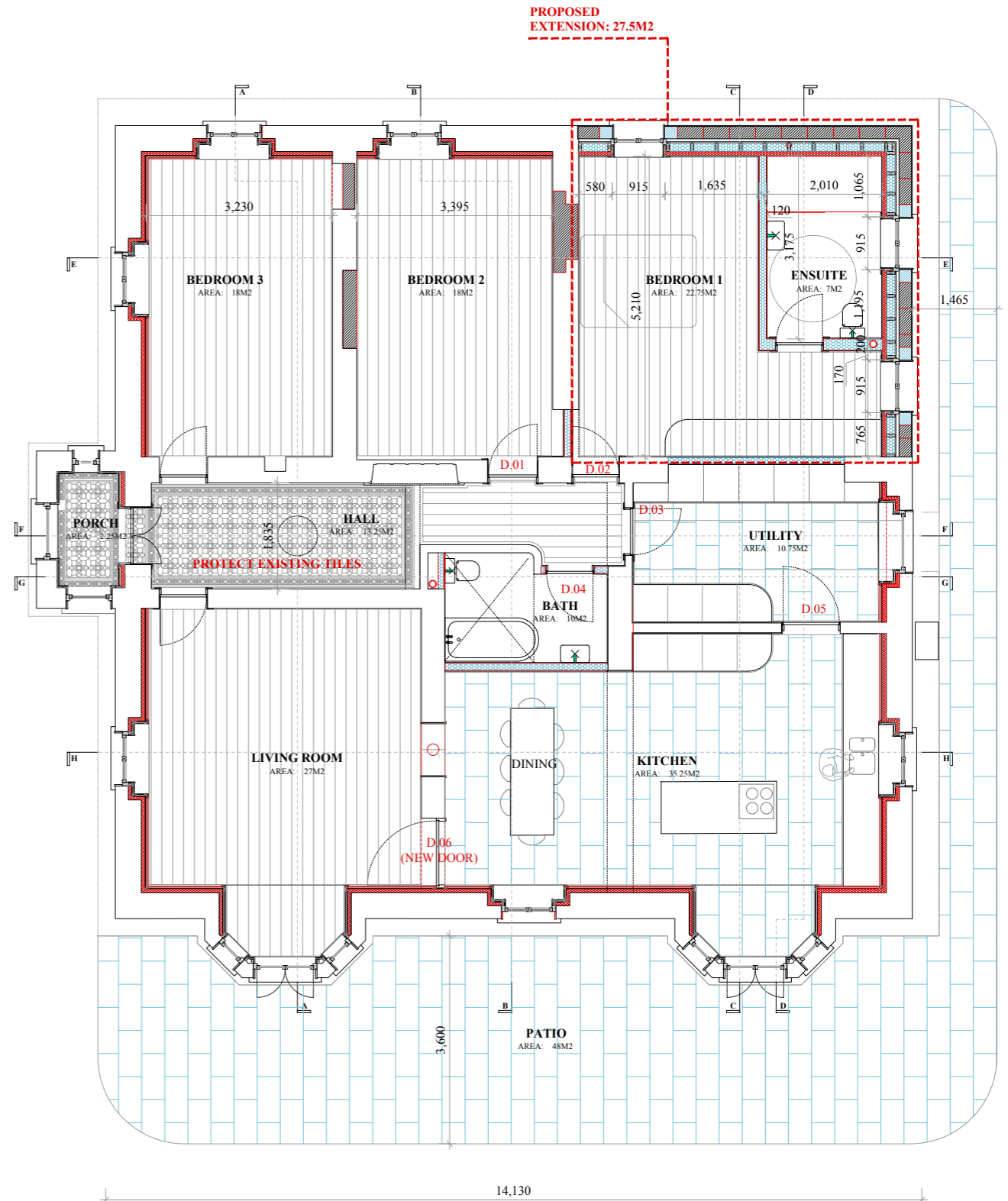
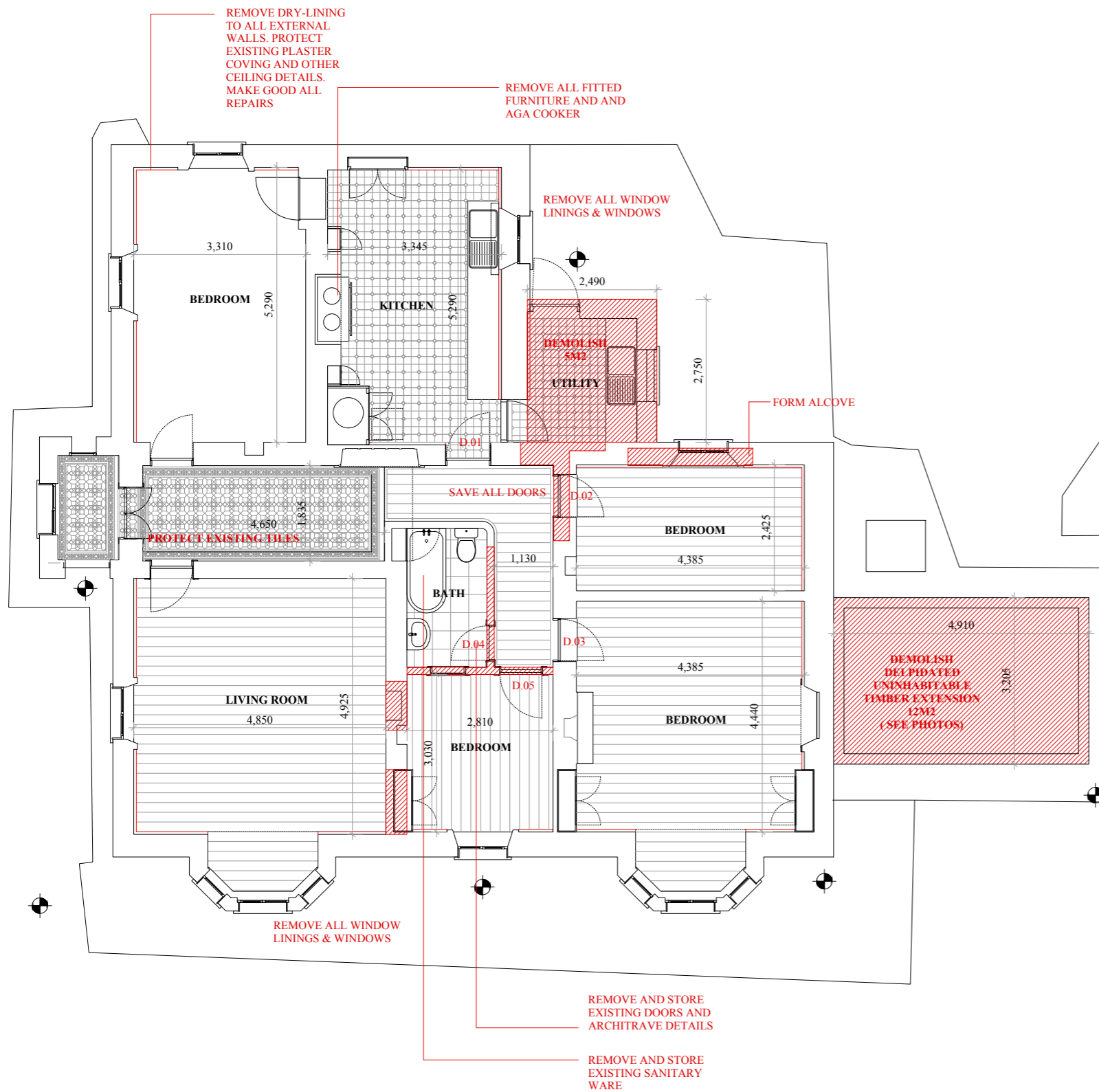


EXISTING GROUND FLOOR PLAN

SCALE: 1:100@A3

PROPOSED GROUND FLOOR PLAN

SCALE: 1:100@A3



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- THERMAL BLOCK WORK TO ENGINEER'S SPEC.
- STRUCTURAL BLOCK WORK TO ENGINEER'S SPEC.
- INSULATED STUD WALL TO SPEC.
- NEW INSULATION TO ARCHITECTS SPEC.
- TIMBER JOINERY TO ARCHITECTS SPEC.



PROJECT TITLE: 83.MCCK. RENOVATIONS TO BUNGALOW
DRAWING TITLE: EXISTING AND PROPOSED PLANS
CLIENT: Kirsty And Conor Ryan
COMMENCED: 01.02.2023

SCALE: 1:100@A3
DRAWING NO.: SECT.5.003
ISSUED: 11.03.2024
STAGE:SECTION 5. APPLICATION

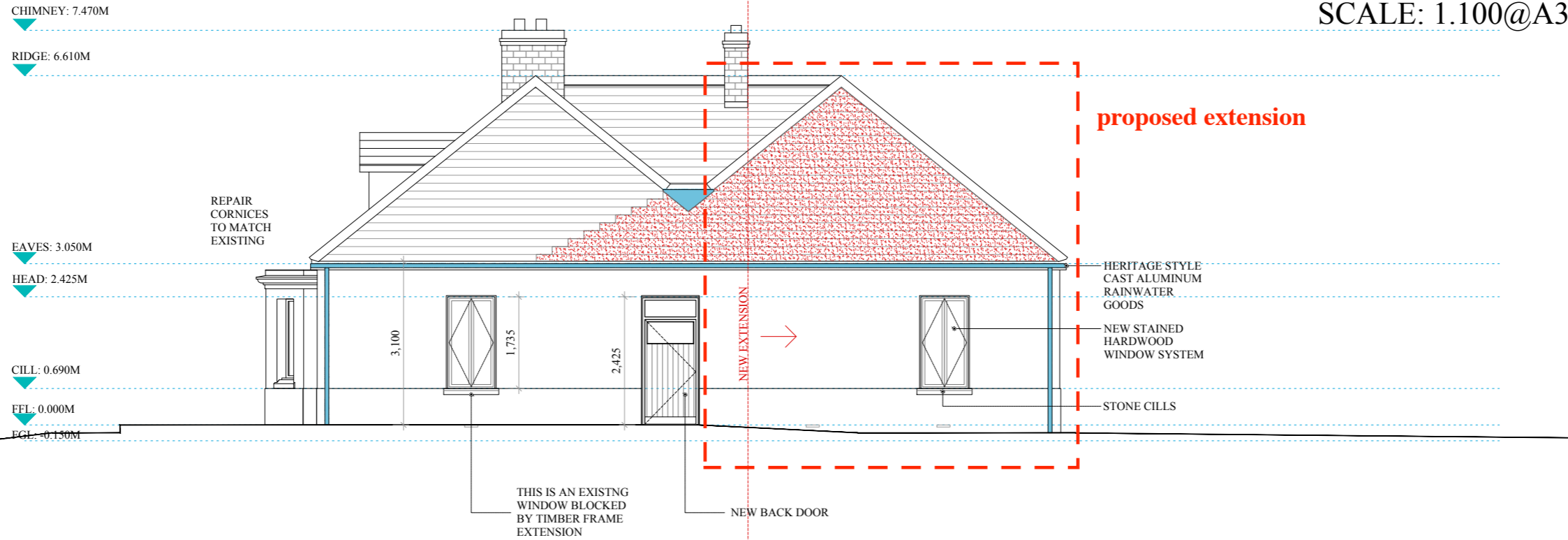
ISSUE: SECT 5
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RIAI 2023 03

PROPOSED EAST ELEVATION

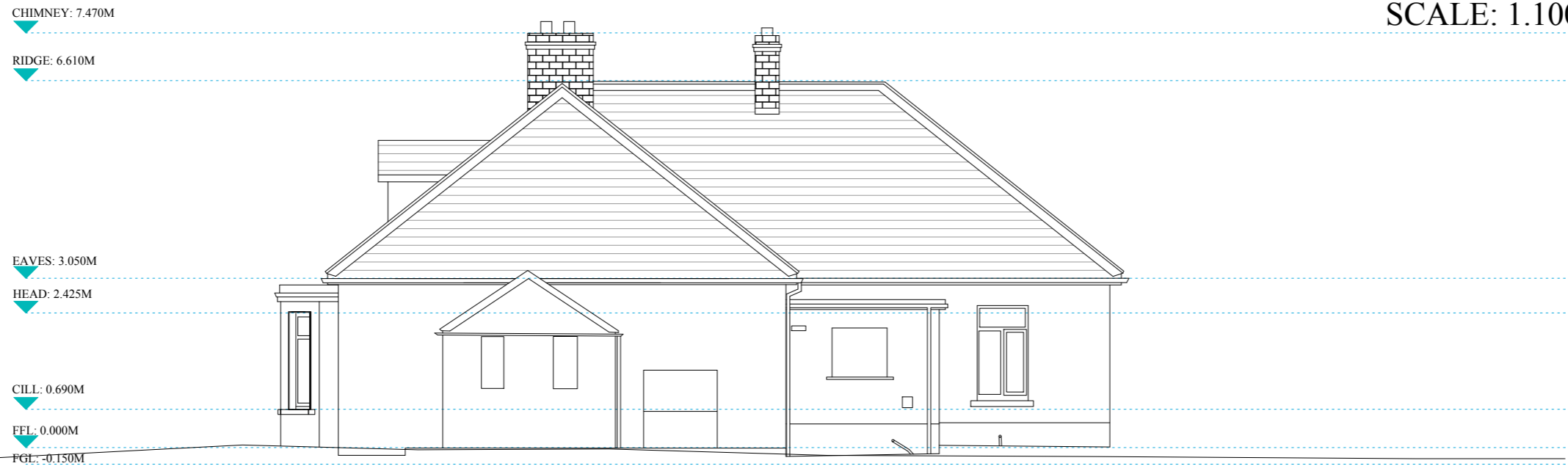
SCALE: 1.100@A3



- EXISTING EXTERNAL WALLS - EXTERIOR:**
1. REMOVE EXISTING SAND CEMENT DASH RENDER TO WALL SURFACES.
 2. SAVE / PROTECT AND REPAIR WHERE NECESSARY EXISTING WINDOW REVEAL DETAILS AND CORNICING DETAILS.
 3. FORM NEW BREATHABLE LIME BASED ROUGH-CAST WHITE COLOR RENDER TO WALL SURFACES. SEE ARCHITECT IMAGES OF STYLE TO COPY. FORM SMOOTH RENDERED BASE OF WALL AS PER DRAWINGS.
 4. WINDOW SYSTEM AS PER ARCHITECT'S SCHEDULED DRAWINGS AND DETAILS. MC IS RESPONSIBLE FOR AIR-TIGHTNESS SEALING & TAPING TO INSIDE AND OUTSIDE OF FRAME.
 5. EXISTING WALLS ARE ASSUMED AS ~450MM BRICK & ROUGH STONE WALLS. MAKE GOOD ANY NECESSARY REPAIRS TO EXISTING WALLS IN LIME MORTAR TO MATCH EXISTING.
 6. 3NO. COATS BREATHABLE LIME BASED PAINT FINISH THROUGHOUT. ALLOW FOR BECK RENOSIL (AVAILABLE FROM ROUNDTOWER LIME) EXTERNAL PAINT. OR SIMILAR QUALITY BREATHABLE HARD WEARING COMMERCIAL GRADE. GENERAL PURPOSE PAINT FOR ALL MINERAL SURFACES. COLOUR TBC.
- EXISTING EXTERNAL WALLS - INTERIOR:**
1. REMOVE EXISTING DRY-LINING & WINDOW LININGS TO WALL SURFACES.
 2. INSTALL 100MM WOOD FIBRE INSULATION - SEE SPECIFICATION FOR FULL DETAIL AND INSTALLATION GUIDE.
 3. INTERNAL LIME RENDER TO SPEC.
 4. PAINTING TO SPEC.
 5. TIMBER WAINSCOTTING (SERVICES ZONE) TO SPEC.
 6. PAINTED SOFTWOOD SKIRTING BOARDS AND PICTURE RAIL TO SPECIFICATION.
 7. REPAIRS AND REPLACEMENT OF ORNATE PLASTER DETAILING AS DESCRIBED ELSEWHERE.
- EXISTING GROUND FLOOR BUILD UP:**
1. CAREFULLY REMOVE EXISTING PINE FLOORING THROUGHOUT AND RETAIN ON SITE FOR RE-USE.
 2. PLACE LARGE FORMAT TILES TO KITCHEN & DINING AREA TO ARCHITECT'S SPECIFICATION.
 3. REPLACE EXISTING TIMBER FLOORING ELSEWHERE.
 4. INSTALL PRESS-FIT (FLORES OR CONTINENTAL TYPE) UNDER-FLOOR HEATING SYSTEM - SEE ARCHITECT SPEC FRO FURTHER DETAIL.
 5. FORM NEW T&G OSB DECK BENEATH FLOORING FINISHES. TAPED AND SEALED INTELLO BREATHABLE MEMBRANE THROUGHOUT HOUSE BENEATH OSB DECK.
 6. INSTALL WIND-TIGHT BREATHER MEMBRANE TO ARCHITECT'S SPECIFICATION. BETWEEN AND OVER EXISTING TIMBER JOISTS.
 7. FULL FILL BETWEEN JOISTS WITH ROCKWOOL FLEXI OR SIMILAR MINERAL WOOL BATTE INSULATION TO ARCHITECTS SPECIFICATION.
 8. ALLOW FOR MAKING GOOD OF ALL FLOORING FINISHES AND RE-SANDING, AND RE-VARNISHING THROUGHOUT.
- NEW EXTENSION & UTILITY GROUND FLOOR BUILD UP:**
1. ENGINEERED TIMBER FLOORING TO ARCHITECTS SPECIFICATION.
 2. INSTALL PRESS-FIT (FLORES OR CONTINENTAL TYPE) UNDER-FLOOR HEATING SYSTEM - SEE ARCHITECT SPEC FRO FURTHER DETAIL.
 3. STRUCTURAL CONCRETE SLAB TO ENGINEERS DESIGN AND SPECIFICATION.
 4. 150MM KINGSPAN T70 INSULATION BOARD TO SPEC. IN TWO LAYERS WITH STAGGERED JOINTS TO ACHIEVE U VALUE 0.15W/M2K.
 5. MONARFLEX RADON BARRIER, AND SLUMP ENSURE CONTINUOUS UNBROKEN COVER. ALLOW FOR FULL DAMP PROOF COURSE OF GROUND FLOOR SLAB.
 6. SAND BLINDING AS SPECIFIED BY ENGINEER.
 7. COMPACTED HARCORE AS SPECIFIED BY ENGINEER.
 8. DRAINAGE AND ITS JUNCTIONS WITH FOUNDATIONS AS SPECIFIED BY ENGINEER.
 9. REINFORCED CONCRETE STRIP FOUNDATIONS TO ENGINEERS DESIGN AND SPECIFICATION.
- NEW EXTENSION EXTERNAL WALL BUILD UP:**
1. FORM NEW BREATHABLE LIME BASED ROUGH-CAST WHITE COLOR RENDER TO WALL SURFACES. SEE ARCHITECT IMAGES OF STYLE TO COPY. FORM SMOOTH RENDERED BASE OF WALL AS PER DRAWINGS.
 2. WINDOW SYSTEM AS PER ARCHITECT'S SCHEDULED DRAWINGS AND DETAILS. MC IS RESPONSIBLE FOR AIR-TIGHTNESS SEALING & TAPING TO INSIDE AND OUTSIDE OF FRAME.
 3. 3NO. COATS BREATHABLE LIME BASED PAINT FINISH THROUGHOUT. ALLOW FOR BECK RENOSIL (AVAILABLE FROM ROUNDTOWER LIME) EXTERNAL PAINT. OR SIMILAR QUALITY BREATHABLE HARD WEARING COMMERCIAL GRADE. GENERAL PURPOSE PAINT FOR ALL MINERAL SURFACES. COLOUR TBC.
 4. 215MM BLOCKWORK TO ENGINEERS SPECIFICATION.
 5. 50MM VENTILATED CAVITY.
 6. 15MM OSB RACKING BOARD & TYVEK MEMBRANE FACED INSULATION BETWEEN STUDS.
 7. 200MM INSULATED TRATED SOFTWOOD STUD INNER LEAF -FULL FILL ROCKWOOL FLEXI OR SIMILAR FLEXIBLE INSULATION BETWEEN STUDS.
 8. 100MM WOOD FIBRE INSULATION - SEE SPECIFICATION FOR FULL DETAIL AND INSTALLATION GUIDE.
 9. INTERNAL LIME RENDER TO SPEC.
 10. PAINTING TO SPEC.
 11. TIMBER WAINSCOTTING (SERVICES ZONE) TO SPEC.
 12. PAINTED SOFTWOOD SKIRTING BOARDS AND PICTURE RAIL TO SPECIFICATION.
- ROOF BUILD UPS:**
1. REPLACEMENT SLATES TO MATCH EXISTING NATURAL SLATES. NEW CLAY RIDGE TILES TO MATCH EXISTING RIDGE TILES.
 2. BOTTOM 3+ ROWS OF EXISTING SLATE ROOF TO BE REMOVED TO ALLOW FOR CONTINUOUS INSULATION AT EAVES.
 3. NEW ROOF IN C-16 KILN DRIED PRESSURE TREATED TIMBER TO ENGINEERS DETAIL + DESIGN.
 4. ALLOW FOR REPAIRS AND REPOINTING OF EXISTING CHIMNEYS.
 5. ALLOW FOR REPAIRS TO LEAD VALLEY GUTTERS AND FLASHINGS.
 6. FORM 2 NEW LEAD LINED VALLEY GUTTERS AT JUNCTION OF NEW AND OLD ROOF.
 7. ALLOW FOR NEW ALUMASC OR SIMILAR HIGH QUALITY 6" HALF ROUND HERITAGE STYLE RAINWATER GOOD THROUGHOUT.
 8. ALLOW FOR 2 ACCESS INSULATED POINTS TO ATTICS.
 9. INSTALL WIND-TIGHT BREATHER MEMBRANE TO ARCHITECTS SPECIFICATION. BETWEEN AND OVER EXISTING TIMBER JOISTS.
 10. FULL FILL BETWEEN JOISTS WITH ROCKWOOL FLEXI OR SIMILAR MINERAL WOOL BATTE INSULATION TO ARCHITECTS SPECIFICATION.
 11. CROSS LAY ~200MM CONTINUOUS ROCKWOOL OR SIMILAR MINERAL WOOL ROLL INSULATION OVER JOISTS.
 12. MINIMUM U VALUE TO ACHIEVE 0.15W/M2K.

EXISTING EAST ELEVATION

SCALE: 1.100@A3



NOTES:
BUILDING REGULATIONS
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| PROJECT TITLE: 83.MCCK. RENOVATIONS TO BUNGALOW | SCALE: 1:100@A3 |
| DRAWING TITLE: EXISTING AND PROPOSED EAST ELEVATION | DRAWING NO.: SECT 5.201 |
| CLIENT: Kirsty And Conor Ryan | ISSUED: 11.03.2024 |
| COMMENCED: 01.02.2023 | STAGE: SECTION 5. APPLICATION |

ISSUE: SECT 5

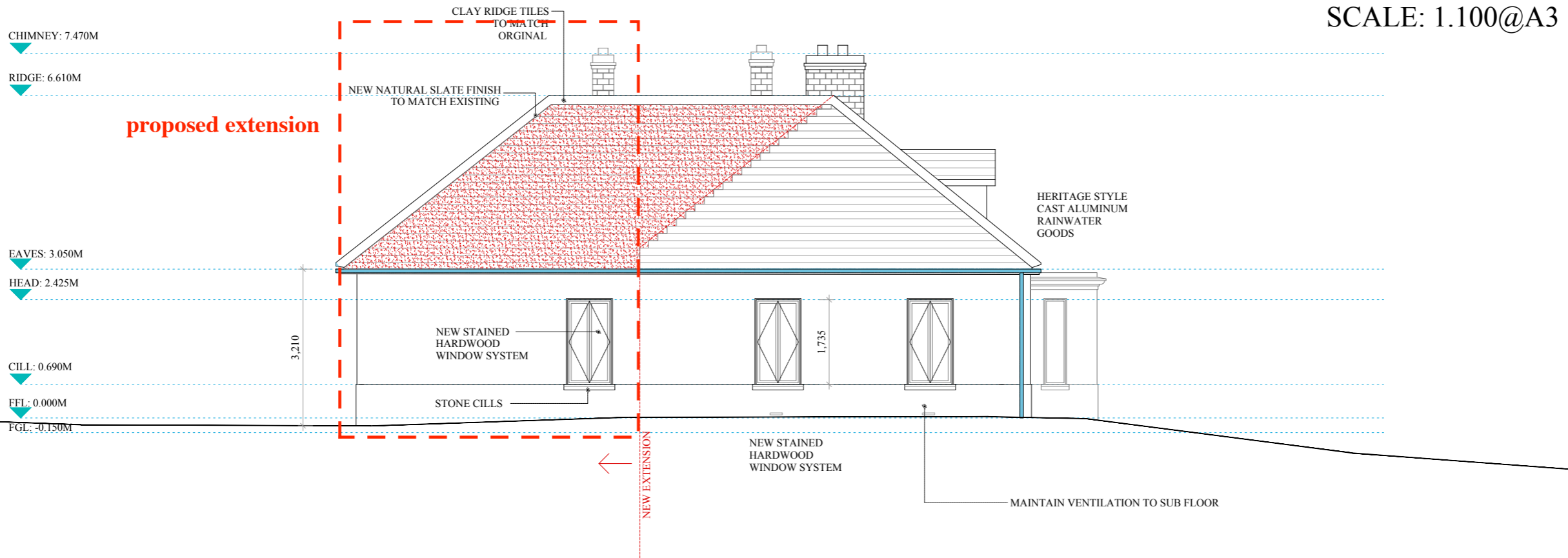
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RIAI
2023

PROPOSED NORTH ELEVATION

SCALE: 1:100@A3



EXISTING NORTH ELEVATION

SCALE: 1:100@A3

- EXISTING EXTERNAL WALLS - EXTERIOR:**
1. REMOVE EXISTING SAND CEMENT DASH RENDER TO WALL SURFACES.
 2. SAVE / PROTECT AND REPAIR WHERE NECESSARY EXISTING WINDOW REVEAL DETAILS AND CORNICING DETAILS.
 3. FORM NEW BREATHABLE LIME BASED ROUGH-CAST WHITE COLOR RENDER TO WALL SURFACES. SEE ARCHITECT IMAGES OF STYLE TO COPY. FORM SMOOTH RENDERED BASE OF WALL AS PER DRAWINGS.
 4. WINDOW SYSTEM AS PER ARCHITECT'S SCHEDULED DRAWINGS AND DETAILS. MC IS RESPONSIBLE FOR AIR-TIGHTNESS SEALING & TAPING TO INSIDE AND OUTSIDE OF FRAME.
 5. EXISTING WALLS ARE ASSUMED AS ~450MM BRICK & ROUGH STONE WALLS. MAKE GOOD ANY NECESSARY REPAIRS TO EXISTING WALLS IN LIME MORTAR TO MATCH EXISTING.
 6. 3NO. COATS BREATHABLE LIME BASED PAINT FINISH THROUGHOUT. ALLOW FOR BECK RENOSIL (AVAILABLE FROM ROUNDTOWER LIME) EXTERNAL PAINT. OR SIMILAR QUALITY BREATHABLE HARD WEARING COMMERCIAL GRADE, GENERAL PURPOSE PAINT FOR ALL MINERAL SURFACES. COLOUR TBC.
- EXISTING EXTERNAL WALLS - INTERIOR:**
1. REMOVE EXISTING DRY-LINING & WINDOW LININGS TO WALL SURFACES.
 2. INSTALL 100MM WOOD FIBRE INSULATION - SEE SPECIFICATION FOR FULL DETAIL AND INSTALLATION GUIDE.
 3. INTERNAL LIME RENDER TO SPEC.
 4. PAINTING TO SPEC.
 5. TIMBER WAINSCOTTING (SERVICES ZONE) TO SPEC.
 6. PAINTED SOFTWOOD SKIRTING BOARDS AND PICTURE RAIL TO SPECIFICATION.
 7. REPAIRS AND REPLACEMENT OF ORNATE PLASTER DETAILING AS DESCRIBED ELSEWHERE.
- NEW EXTENSION EXTERNAL WALL BUILD UP:**
1. FORM NEW BREATHABLE LIME BASED ROUGH-CAST WHITE COLOR RENDER TO WALL SURFACES. SEE ARCHITECT IMAGES OF STYLE TO COPY. FORM SMOOTH RENDERED BASE OF WALL AS PER DRAWINGS.
 2. WINDOW SYSTEM AS PER ARCHITECT'S SCHEDULED DRAWINGS AND DETAILS. MC IS RESPONSIBLE FOR AIR-TIGHTNESS SEALING & TAPING TO INSIDE AND OUTSIDE OF FRAME.
 3. 3NO. COATS BREATHABLE LIME BASED PAINT FINISH THROUGHOUT. ALLOW FOR BECK RENOSIL (AVAILABLE FROM ROUNDTOWER LIME) EXTERNAL PAINT. OR SIMILAR QUALITY BREATHABLE HARD WEARING COMMERCIAL GRADE, GENERAL PURPOSE PAINT FOR ALL MINERAL SURFACES. COLOUR TBC.
 4. 215MM BLOCKWORK TO ENGINEERS SPECIFICATION
 5. 50MM VENTILATED CAVITY
 6. 18MM OSB RACKIN G BOARD & TYVEK MEMBRANE FACED.
 7. 200MM INSULATED TRATED SOFTWOOD STUD INNER LEAF - FULL FILL ROCKWOOL FLEXI OR SIMILAR FLEXIBLE INSULATION BETWEEN STUDS.
 8. 100MM WOOD FIBRE INSULATION - SEE SPECIFICATION FOR FULL DETAIL AND INSTALLATION GUIDE.
 9. INTERNAL LIME RENDER TO SPEC.
 10. PAINTING TO SPEC.
 11. TIMBER WAINSCOTTING (SERVICES ZONE) TO SPEC.
 12. PAINTED SOFTWOOD SKIRTING BOARDS AND PICTURE RAIL TO SPECIFICATION.
- ROOF BUILD UPS:**
1. REPLACEMENT SLATES TO MATCH EXISTING NATURAL SLATES.
 2. NEW CLAY RIDGE TILES TO MATCH EXISTING RIDGE TILES.
 3. BOTTOM 3-4 ROWS OF EXISTING SLATE ROOFS TO BE REMOVED TO ALLOW FOR CONTINUOUS INSULATION AT EAVES.
 4. NEW ROOF IN C-16 KILN DRIED PRESSURE TREATED TIMBER TO ENGINEERS DETAIL + DESIGN.
 5. ALLOW FOR REPAIRS AND REPOINTING OF EXISTING CHIMNEYS.
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 9. ALLOW FOR 2 ACCESS INSULATED POINTS TO ATTICS.
 10. INSTALL WIND-TIGHT BREATHER MEMBRANE TO ARCHITECT'S SPECIFICATION, BETWEEN AND OVER EXISTING TIMBER JOISTS.
 11. FULL FILL BETWEEN JOISTS WITH ROCKWOOL FLEXI OR SIMILAR MINERAL WOOL BATTE INSULATION TO ARCHITECTS SPECIFICATION.
 12. CROSS LAY +200MM CONTINUOUS ROCKWOOL OR SIMILAR MINERAL WOOL ROLL INSULATION OVER JOISTS.
- MINIMUM U VALUE TO ACHIEVE IS 0.15W/M2K.

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| PROJECT TITLE: 83.MCCK. RENOVATIONS TO BUNGALOW | SCALE: 1:100@A3 |
| DRAWING TITLE: EXISTING AND PROPOSED NORTH ELEVATION | DRAWING NO.: SECT 5.202 |
| CLIENT: Kirsty And Conor Ryan | ISSUED: 11.03.2024 |
| COMMENCED: 01.02.2023 | STAGE: SECTION 5. APPLICATION |

ISSUE: SECT 5

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PROPOSED WEST ELEVATION

SCALE: 1.100 @ A3

CHIMNEY: 7.470M

RIDGE: 6.610M

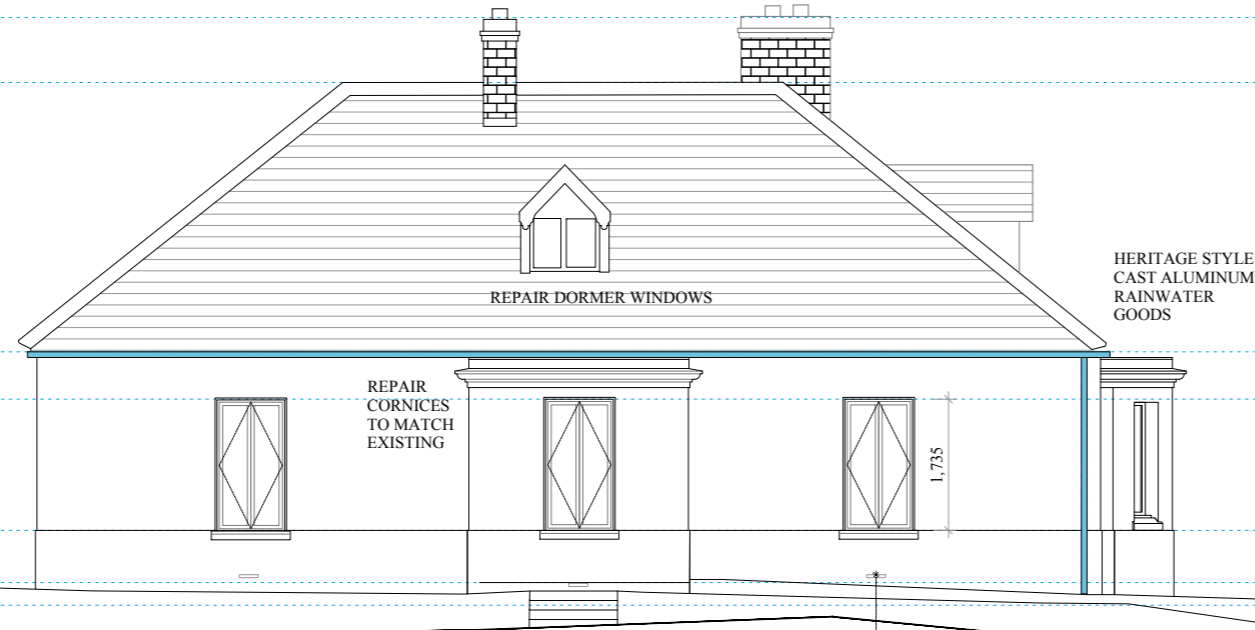
EAVES: 3.050M

HEAD: 2.425M

CILL: 0.690M

FFL: 0.000M

FGL: -0.150M



MAINTAIN VENTILATION TO SUB FLOOR

EXISTING WEST ELEVATION

SCALE: 1.100 @ A3

CHIMNEY: 7.470M

RIDGE: 6.610M

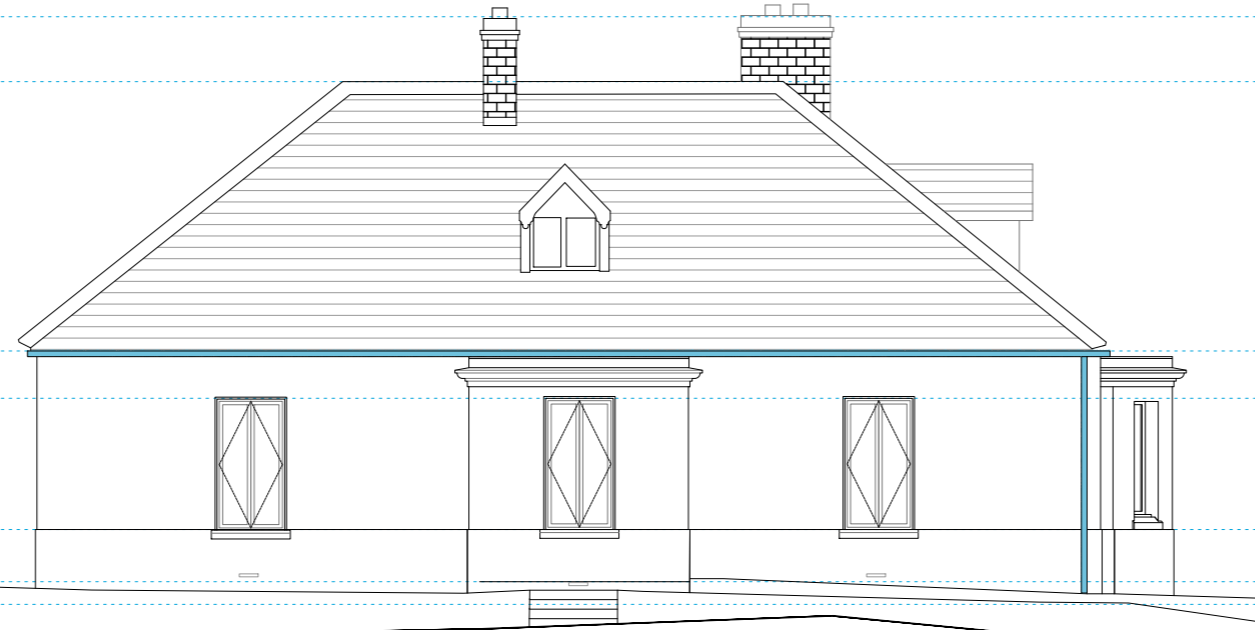
EAVES: 3.050M

HEAD: 2.425M

CILL: 0.690M

FFL: 0.000M

FGL: -0.150M



| |
|---|
| <p>EXISTING EXTERNAL WALLS - EXTERIOR:</p> <ol style="list-style-type: none"> REMOVE EXISTING SAND CEMENT DASH RENDER TO WALL SURFACES. SAVE / PROTECT AND REPAIR WHERE NECESSARY EXISTING WINDOW REVEAL DETAILS AND CORNICING DETAILS. FORM NEW BREATHABLE LIME BASED ROUGH-CAST WHITE COLOR RENDER TO WALL SURFACES. SEE ARCHITECT IMAGES OF STYLE TO COPY. FORM SMOOTH RENDERED BASE OF WALL AS PER DRAWINGS. WINDOW SYSTEM AS PER ARCHITECT'S SCHEDULED DRAWINGS AND DETAILS. MC IS RESPONSIBLE FOR AIR-TIGHTNESS SEALING & TAPING TO INSIDE AND OUTSIDE OF FRAME. EXISTING WALLS ARE ASSUMED AS ~450MM BRICK & ROUGH STONE WALLS. MAKE GOOD ANY NECESSARY REPAIRS TO EXISTING WALLS IN LIME MORTAR TO MATCH EXISTING. 3NO. COATS BREATHABLE LIME BASED PAINT FINISH THROUGHOUT. ALLOW FOR BECK RENOSIL (AVAILABLE FROM ROUNDTOWER LIME) EXTERNAL PAINT. OR SIMILAR QUALITY BREATHABLE HARD WEARING COMMERCIAL GRADE, GENERAL PURPOSE PAINT FOR ALL MINERAL SURFACES. COLOUR TBC. <p>EXISTING EXTERNAL WALLS - INTERIOR:</p> <ol style="list-style-type: none"> REMOVE EXISTING DRY-LINING & WINDOW LININGS TO WALL SURFACES. INSTALL 100MM WOOD FIBRE INSULATION - SEE SPECIFICATION FOR FULL DETAIL AND INSTALLATION GUIDE. INTERNAL LIME RENDER TO SPEC. PAINTING TO SPEC. TIMBER WAINSCOTTING (SERVICES ZONE) TO SPEC. PAINTED SOFTWOOD SKIRTING BOARDS AND RPICTURE RAIL TO SPECIFICATION. REPAIRS AND REPLACEMENT OF ORNATE PLASTER DETAILING AS DESCRIBED ELSEWHERE. <p>NEW EXTENSION & UTILITY GROUND FLOOR BUILD UP:</p> <ol style="list-style-type: none"> ENGINEERED TIMBER FLOORING TO ARCHITECTS SPECIFICATION. INSTALL PRESS-FIT (FLORES OR CONTINENTAL TYPE) UNDER-FLOOR HEATING SYSTEM - SEE ARCHITECT SPEC FRO FURTHER DETAIL. STRUCTURAL CONCRETE SLAB TO ENGINEERS DESIGN AND SPECIFICATION. 150MM KINGSPAN T70 INSULATION BOARD TO SPEC. IN TWO LAYERS WITH STAGGERED JOINTS TO ACHIEVE U VALUE 0.15W/M2K. MONARFLEX RADON BARRIER, AND SUMP. ENSURE CONTINUOUS UNBROKEN COVER. ALLOW FOR FULL DAMP PROOF COURSE OF GROUND FLOOR SLAB. SAND BLINDING AS SPECIFIED BY ENGINEER. COMPACTED HARDCORE AS SPECIFIED BY ENGINEER. DRAINAGE AND ITS JUNCTIONS WITH FOUNDATIONS AS SPECIFIED BY ENGINEER. REINFORCED CONCRETE STRIP FOUNDATIONS TO ENGINEERS DESIGN AND SPECIFICATION. <p>ROOF BUILD UPS:</p> <ol style="list-style-type: none"> REPLACEMENT SLATES TO MATCH EXISTING NATURAL SLATES. NEW CLAY RIDGE TILES TO MATCH EXISTING RIDGE TILES. BOTTOM 3-4 ROWS OF EXISTING SLATE ROOFS TO BE REMOVED TO ALLOW FOR CONTINUOUS INSULATION AT EAVES. NEW ROOF IN C-16 KILN DRIED PRESSURE TREATED TIMBER TO ENGINEERS DETAIL + DESIGN. ALLOW FOR REPAIRS AND REPOINTING OF EXISTING CHIMNEYS. ALLOW FOR REPAIRS TO LEAD VALLEY GUTTERS AND FLASHINGS. FORM 2 NEW LEAD LINED VALLEY GUTTERS AT JUNCTION OF NEW AND OLD ROOF. ALLOW FOR NEW ALLUMASC OR SIMILAR HIGH QUALITY 6" HALF ROUND HERITAGE STYLE RAINWATER GOOD THROUGHOUT. ALLOW FOR 2 ACCESS INSULATED POINTS TO ATTICS. INSTALL WIND-TIGHT BREATHER MEMBRANE TO ARCHITECT'S SPECIFICATION, BETWEEN AND OVER EXISTING TIMBER JOISTS. FULL FILL BETWEEN JOISTS WITH ROCKWOOL FLEXI OR SIMILAR MINERAL WOOL BATTE INSULATION TO ARCHITECTS SPECIFICATION. CROSS LAY +200MM CONTINUOUS ROCKWOOL OR SIMILAR MINERAL WOOL ROLL INSULATION OVER JOISTS. <p>MINIMUM U VALUE TO ACHIEVE IS 0.15W/M2K.</p> <p>FLAT ROOF BUILD UPS:</p> <ol style="list-style-type: none"> INSPECT FLAT ROOF AREAS- BAY WINDOWS AND OVER FRONT PORCH. FORM PARALON OR SIMILAR APPROVED SINGLE-PLY MEMBRANE ACCORDING TO MANUFACTURERS DETAILS. CONTRACTOR WARRANTIES TO BE PROVIDED ON 50MM PIR ROOFING INSULATION ON BITUMEN BACKED VAPOR CONTROL LAYER. THE VCL IS FULLY TORCH-BONDED TO THE DECK WITH SIDE LAPS OF 100 MM AND END LAPS OF 150 MM. REPAIR PARAPETS AND CORNICE DETAILS TO MATCH THE EXISTING WORK. |
|---|

NOTES:
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|---|------------------------------|
| PROJECT TITLE: 83.MCCK. RENOVATIONS TO BUNGALOW | SCALE: 1:100@A3 |
| DRAWING TITLE: EXISTING AND PROPOSED WEST ELEVATION | DRAWING NO.: SECT 5.203 |
| CLIENT: Kirsty And Conor Ryan | ISSUED: 11.03.2024 |
| COMMENCED: 01.02.2023 | STAGE:SECTION 5. APPLICATION |

ISSUE: SECT 5

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2023

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TIPPERARY COUNTY COUNCIL

Application for Declaration under Section 5
Report No. 2

Planning & Development Act 2000, as amended
Planning & Development Regulations 2001, as amended

Planning Reference: S5/24/13

Applicant: Kirsty Ryan

Development Address: Ashwells Lot, Cahir Road, Cashel, Co. Tipperary E25 K243

Proposed Development: Demolition of original timber extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc.

Date of Inspection: 27/02/2024

1. **GENERAL**

On the 31st January 2024 a request was made for a declaration under Section 5 of the Planning and Development Act, 2000 as amended, by Kirsty Ryan in respect of the following development;

Demolition of original timber extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc.





Further Information was requested on 27/02/2024 under Section 5(2) of the Planning and Development Act 2000, as amended for the following;

1. *The applicant is requested to submit elevations of the proposed extension at a scale of 1:100.*

A response was received on 11/03/2024 and 25/03/2024 and the assessment of same is set out below.

2. **STATUTORY PROVISIONS**

The following statutory provisions are relevant to this case;

PLANNING AND DEVELOPMENT ACT 2000, AS AMENDED

Section 3 (1) of the Planning and Development Act 2000, as amended, states as follows:-

“In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Section 2(1) of the Planning and Development Act, 2000, as amended, defines “works” as:-

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 4(1) of the Planning and Development Act, 2000, as amended states:

4.- (1) The following shall be exempted developments for the purposes of this Act—

(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

4.- (2) (a) of the Planning and Development Act 2000, as amended, states as follows:-

(2)(a) The Minister may by regulations provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that—

(i) by reason of the size, nature or limited effect on its surroundings, of development belonging to that class, the carrying out of such development would not offend against principles of proper planning and sustainable development, or

(ii) the development is authorised, or is required to be authorised, by or under any enactment (whether the authorisation takes the form of the grant of a licence, consent, approval or any other type of authorisation) where the enactment concerned requires there to be consultation (howsoever described) with members of the public in relation to the proposed development prior to the granting of the authorisation (howsoever described).

Section 4 (4) of the Planning and Development Act 2000, as amended, states as follows:-

4 (4) Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.

PLANNING AND DEVELOPMENT REGULATIONS 2001, AS AMENDED

Article 6 of the Planning and Development Regulations 2001, as amended states:

Exempted Development.

6. (1) Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001, as amended states:

| Description of Development | Conditions and Limitations |
|---|---|
| <p><i>The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.</i></p> | <p>1.</p> <p>(a) <i>Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.</i></p> <p>(b) <i>Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.</i></p> <p>(c) <i>Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</i></p> |
| | <p>2.</p> <p>(a) <i>Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.</i></p> <p>(b) <i>Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.</i></p> <p>(c) <i>Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.</i></p> |
| | <p>3. <i>Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.</i></p> |
| | <p>4.</p> <p>(a) <i>Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.</i></p> <p>(b) <i>Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.</i></p> <p>(c) <i>The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.</i></p> |
| | <p>5. <i>The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space,</i></p> |

| | |
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| | <p>reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.</p> <p>6.</p> <p>(a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.</p> <p>(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.</p> <p>(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</p> <p>7. The roof of any extension shall not be used as a balcony or roof garden.</p> |
|--|---|

Class 50 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001, as amended states:

| Description of Development | Conditions and Limitations |
|---|---|
| <p>CLASS 50</p> <p>(a) The demolition of a building, or buildings, within the curtilage of—</p> <p style="padding-left: 20px;">(i) a house,</p> <p style="padding-left: 20px;">(ii) an industrial building,</p> <p style="padding-left: 20px;">(iii) a business premises, or</p> <p style="padding-left: 20px;">(iv) a farmyard complex.</p> <p>(b) The demolition of part of a habitable house in connection with the provision of an extension or porch in accordance with Class 1 or 7, respectively, of this Part of this Schedule or in accordance with a permission for an extension or porch under the Act.</p> | <p>1. No such building or buildings shall abut on another building in separate ownership.</p> <p>2. The cumulative floor area of any such building, or buildings, shall not exceed:</p> <p style="padding-left: 40px;">(a) in the case of a building, or buildings within the curtilage of a house, 40 square metres, and</p> <p style="padding-left: 40px;">(b) in all other cases, 100 square metres.</p> <p>3. No such demolition shall be carried out to facilitate development of any class prescribed for the purposes of section 176 of the Act.</p> |

Article 9 of the Planning and Development Regulations 2001, as amended sets out restrictions on exemptions and states:

9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(a) if the carrying out of such development would—

(viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site.

(viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use.

3. ASSESSMENT

a. Site Location

The site comprises of an existing residential property in the townlands of Ashwells Lot on the Cahir Road in Cashel, Co. Tipperary.

b. Relevant Planning History

None traced.

c. Assessment

The question posed under the Section 5 Declaration application is rephrased as whether **the demolition of original timber extension at back and utility room. Build a new ensuite single storey bedroom extension. General refurbishment of original house of new windows & doors** is development and is exempted development.

i) “Is or is not Development”

It is considered that the above listed proposal constitutes ‘works’ and therefore constitutes ‘development’ as understood by the Planning and Development Act, 2000, as amended.

ii) “Is or is not Exempted Development”

The proposed demolition of the utility and timber structure to the rear satisfies the exemption set out under Class 50 of Part 1 of Schedule 2 of the Regulations.

The floor area of the single storey extension is 29.75sq.m. The new windows and doors would appear to fall under Section 4(1)h of the Act.

The further information response received on 11/03/2024 includes an existing and proposed site plan and floor plan drawings. Elevations drawings received on 25/03/2024. The proposed extension meets the parameters of Class 1.

iii) Restrictions under Article 9

I note following an inspection of the lands and reference to the site layout plan drawing, there is a green paladine type fencing along the perimeter of the site which does not form part of the declaration. However, I note no exemption which would be availed of for same and does not fall under Class 5 of Part 1 of Schedule 2 of the Regulations due to type and height.

I do not consider that the unauthorised fence would limit the ability of the applicant to avail of an exemption to extend the dwelling.

iv) Requirement for Appropriate Assessment (AA) and Environmental Impact Assessment (EIA)

AA

The proposal has been assessed having regard to the requirements of the EU Habitats Directive. The proposal has been screened as to the requirements for AA and the screening assessment considers that the proposal does not impact on any Natura 2000 site. See also Appropriate Assessment (AA) screening report attached.

EIA

The proposed development has been subject to a preliminary examination to determine the requirement for EIA. EIA is not required in respect of the development. See also for Environmental Impact Assessment (EIA) preliminary examination screening report attached.

4. RECOMMENDATION.

WHEREAS a question has arisen as to whether the demolition of original timber extension at back and utility room. Build a new ensuite single storey bedroom extension. General refurbishment of original house of new windows & doors at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary constitutes “development” and “exempted development”

AND WHERE AS Tipperary County Council in considering this referral had regard particularly to -

- (a) Sections 2, 3 and 4 of the Planning and Development Act, 2000 as amended,
- (b) Article 6 and Article 9 of the Planning and Development Regulations, 2001, as amended,
- (c) Schedule 2, Part 1, Class 1 and Class 50 of the Planning and Development Regulations, 2001, as amended,

(e) The application and details submitted on 31st January 2024, 11th March 2024 & 25th March 2024.

AND WHEREAS Tipperary County Council has concluded that the demolition of original timber extension at back and utility room, build a new ensuite single storey bedroom extension, general refurbishment of original house of new windows & doors at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary constitutes “works” and “development” within the meaning of the Planning and Development Act 2000, as amended and is “exempted development”.

The development is exempted development as same satisfies the planning exemption under Class 1 and Class 50, Schedule 2, Part 1 of the Planning and Development Regulations 2001 (as amended).

The development has been screened as to the requirement for Appropriate Assessment and Environmental Impact Assessment and it has been determined that same are not required.

District Planner:



Date: 25/03/2024

Senior Executive Planner:



Date: 25.03.2024

Original

TIPPERARY COUNTY COUNCIL

DELEGATED EMPLOYEE'S ORDER

File Ref: **S5/24/13** **Delegated Employee's Order No:** _____

SUBJECT: Section 5 Declaration

I, Dave Carroll, A/Director of Services, Tipperary County Council, by virtue of the powers delegated to me in accordance with the provisions of Section 154 of the Local Government Act 2001, as amended by Schedule 1, Part 1 of the Local Government Reform Act 2014 under Chief Executive's Order No. 37256 dated 4th March, 2024 hereby order that pursuant to the provisions of the Planning and Development Act 2000, as amended, that an application under Section 5 from Kirsty Ryan, Teach Aolchloiche, Ballinahinch, Cashel, Co. Tipperary, E25 X029, re: Demolition of original timber extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc. at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary, E25 K243 is development and is exempted development.

AND WHEREAS Tipperary County Council in considering this referral had regard particularly to –

- (a) Sections 2, 3 and 4 of the Planning and Development Act, 2000 as amended,
- (b) Article 6 and Article 9 of the Planning and Development Regulations, 2001, as amended,
- (c) Schedule 2, Part 1, Class 1 and Class 50 of the Planning and Development Regulations, 2001, as amended
- (d) The application and details submitted on 31st January 2024, 11th March 2024 & 25th March 2024.

AND WHEREAS Tipperary County Council has concluded that the demolition of original timber extension at back and utility room, build a new ensuite single storey bedroom extension, general refurbishment of original house of new windows & doors at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary **constitutes "works" and "development"** within the meaning of the Planning and Development Act 2000, as amended and **is "exempted development"**.

The development is exempted development as same satisfies the planning exemption under Class 1 and Class 50, Schedule 2, Part 1 of the Planning and Development Regulations 2001 (as amended).

Signed:



Date: 26/03/2024

**Dave Carroll,
A/Director of Services,
Planning and Development (including Town Centre First),
Emergency Services and Emergency Planning and
Tipperary/Cahir/Cashel Municipal District**



Comhairle Contae Thiobraid Árann
Tipperary County Council

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
Cluain Meala,
Co. Thiobraid Árann

Tipperary County Council,
Civic Offices, Clonmel,
Co. Tipperary

E91 N512

Comhairle Contae
Thiobraid Árann,
Oifigí Cathartha,
An tAonach,
Co. Thiobraid Árann

Tipperary County Council,
Civic Offices, Nenagh,
Co. Tipperary

E45 A099

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e customerservice
@tipperarycoco.ie

tipperarycoco.ie

Date: 26 March 2024

Our Ref: S5/24/13

Civic Offices, Nenagh

**Kirsty Ryan,
Teach Aolchloiche,
Ballinahinch,
Cashel,
Co. Tipperary, E25 X029.**

Re: Declaration under Section 5 of the Planning and Development Act 2000

Dear Ms Ryan,

I refer to your application for a Section 5 Declaration received on 31st January 2024 and 11th March 2024, in relation to the following proposed works:

Demolition of original timber extension at back and concrete utility room. Build a new ensuite single storey bedroom located where utility room was. General refurbishment of original house e.g. new windows & doors, etc. at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary E25 K243

WHEREAS a question has arisen as to whether the demolition of original timber extension at back and utility room. Build a new ensuite single storey bedroom extension. General refurbishment of original house of new windows & doors at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary constitutes "development" and "exempted development"

AND WHEREAS Tipperary County Council in considering this referral had regard particularly to –

- (a) Sections 2, 3 and 4 of the Planning and Development Act, 2000 as amended,
- (b) Article 6 and Article 9 of the Planning and Development Regulations, 2001, as amended,

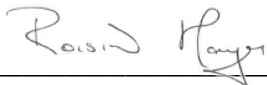
- (c) Schedule 2, Part 1, Class 1 and Class 50 of the Planning and Development Regulations, 2001, as amended
- (d) The application and details submitted on 31st January 2024, 11th March 2024 & 25th March 2024.

AND WHEREAS Tipperary County Council has concluded that the demolition of original timber extension at back and utility room, build a new ensuite single storey bedroom extension, general refurbishment of original house of new windows & doors at Ashwells Lot, Cahir Road, Cashel, Co. Tipperary **constitutes "works" and "development"** within the meaning of the Planning and Development Act 2000, as amended and **is "exempted development"**.

The development is exempted development as same satisfies the planning exemption under Class 1 and Class 50, Schedule 2, Part 1 of the Planning and Development Regulations 2001 (as amended).

NOTE: Any person issued with a Declaration of a Planning Authority may refer the Declaration for review to An Bord Pleanála, 64 Marlborough Street, Dublin 1, within four (4) weeks of the date of issue of the Declaration and on payment of the prescribed fee.

Yours sincerely



for **Director of Services**